

OUR PROPOSALS FOR THE REDEVELOPMENT OF
HEADLEY COURT

NOVEMBER 2019



**WELCOME
TO THE LATEST
INFORMATION
EVENT**

Angle Property (Angle), a Buckinghamshire based development company who deliver high quality schemes in London and the South East, purchased the former Headley Court rehabilitation centre in May 2019.

In 2014, the Government announced that Headley Court would close and services would be transferred to a state of the art centre at Stanford Hall in Leicestershire. Headley Court ceased operations in September 2018.



Red Line Plan

The whole site covers 82 Acres (33 hectares). There is 300,000 sq ft (equivalent of nearly 5 football pitches) of floor space across all the buildings on site. There is also in excess of 450 parking spaces on site.

Angle organised an early consultation event in July 2019. That consultation event allowed residents and stakeholders to learn more about the early Master Planning ideas and meet the team. Angle has reviewed all of the feedback received following the first consultation event and progressed their plans accordingly.

Angle has now organised this second public event to allow residents to learn about the latest ideas, meet the team and leave feedback.

Members of the team are on hand to answer any questions you might have. You can let Angle know your thoughts by completing one of the feedback forms and dropping it into the ballot box provided. Alternatively, you can call the information line on **0800 319 6187**.



Headley Court

BACKGROUND & DEVELOPMENT PHASES

The first consultation event which was held on 4th July 2019 was attended by over 200 local residents and stakeholders. Angle felt the event was very successful and the feedback received will be included in the Statement of Community Engagement which will form part of the future planning application.

The consultation event in July 2019 presented the whole site divided in to “Elements” which are updated with some boundary changes as follows:

The Existing Houses – Element 1 –

This element includes the existing 64 properties on Cunliffe Close and Dale View, the play area and woodland. This element forms no part of the redevelopment proposals. This part of the estate was sold to Clerkenwell Estate, although Angle have maintained certain legal controls over the land.

Headley Court Mansion Site –

Element 2 – This element includes the main mansion, gardens, medical facilities, consultation rooms and rehabilitation buildings as well as the Help for Heroes building. This also now includes the Jubilee Complex and Ward Annex (temporary buildings).

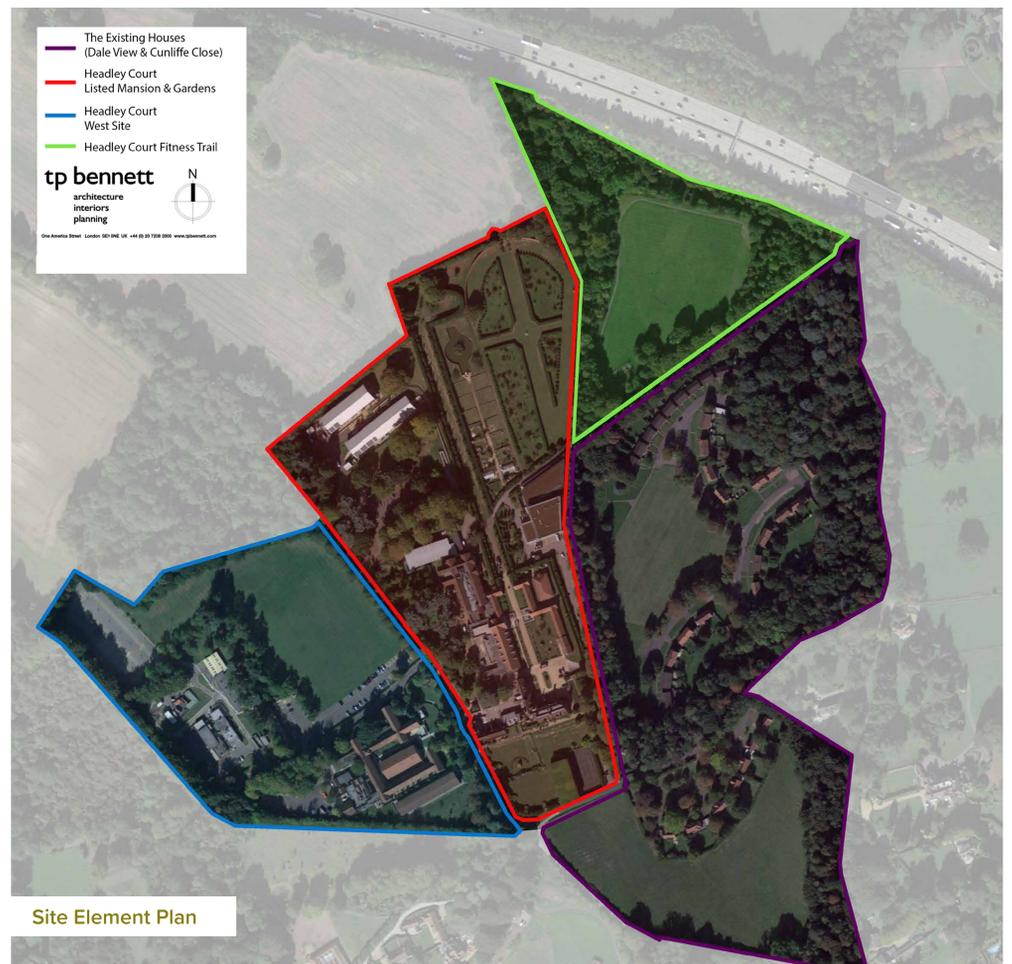
Headley Court West Site – Element

3 – This element includes the land and buildings to the west of Headley Road.

Following the last consultation event, Element 2 was extended to include the temporary buildings to the east of Headley Road. Element 3 now only includes the land and buildings to the west of Headley Road.

Headley Court Fitness Trail –

Element 4 – This is the undeveloped land to the north-east comprising the former MOD fitness trail. There are no plans for this land included in this consultation event.



The Headley Court Mansion Site –

Element 2 – was marketed through the summer to identify options for a deliverable, long-term use which respects the listed setting. Whilst it is early days, principle terms have now been agreed with Audley Group Ltd. Further details on the proposals by Audley Group Ltd, will be covered later in this exhibition.

The Headley Court West Site –

Element 3 – now covers about 17 acres (6.8 Hectares). Angle continues to feel this part of the site is most appropriate for housing redevelopment. Angle are proposing that all the existing buildings are demolished and replaced by a residential development housing scheme.

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THE PROPOSED MASTERPLAN

To provide a comprehensive overview of both the Mansion and West Site (Elements 2 & 3) both indicative proposals are set out in the masterplan below. The proposals for both sites work well together and 'compliment' each other, although they will be brought forward in two separate planning applications.



Further details of the proposals are on the following displays, in summary the two sites comprise the following:

Headley Court Mansion Site – Angle is now working in partnership with Audley Group Ltd a specialist retirement care operator. Angle and Audley are proposing a development of a Retirement Care Community. This will consist of 115 new build two-bedroom apartments and the conversion/restoration of the mansion for a further 13 apartments. The proposals will also include communal facilities, car parking and the reinstatement of the gardens & grounds.

Headley Court West Site – The proposals are for comprehensive demolition and the development of 100 houses with car parking and the creation of extensive public open space. The proposals will include 14% affordable housing.

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HEADLEY COURT WEST SITE

On the plan below we are illustrating our current proposals for new houses, to the North and South of The Drive. A single point of vehicular access is proposed for each area of development, with an additional network of pedestrian and cycle routes facilitating movement around the site.

The layouts are based upon a thorough review of all of the existing trees on the site, and include the retention of the most valuable trees. The landscape form and the retained trees have led the proposed location of the roads, with the new houses gathered into small neighbourhood groups.

The existing car parking areas adjacent to The Drive are proposed for removal, and the retained open green space, replanted and landscaped with a play area, and space for public use. Along the drive, significant planting is proposed to extend the character of this road, whilst maintaining safety for existing and new residents and road users. Bridleway connections have also been introduced within the scheme facilitating movement across the site.

The proposed scheme has the same built footprint as the existing buildings (excluding Temporary) with less roads/hardstanding and increased 'green'/unbuilt area.



- Provision of 14% affordable homes;
- Two car parking spaces per property and spaces for visitors;
- A proposed network of pedestrian and cycle path links;
- Sustainable drainage and energy efficient design;
- Provision of extensive public open spaces;
- Protection of the substantial existing trees;
- Improvement to off-site footpath linkages;
- Improvements to widen the adjoining Headley Road;
- Improvements to the provision of local bus services;
- Enhancement of existing site ecology and improved landscaping throughout.



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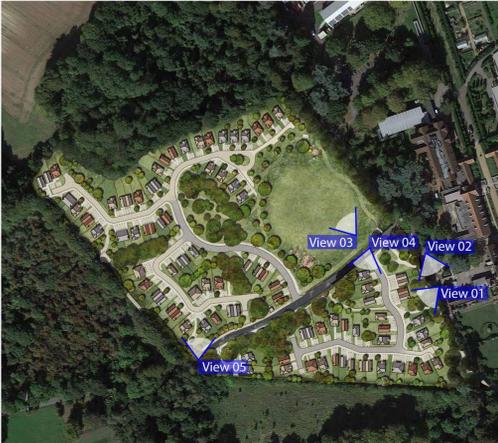
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**INDICATIVE DETAILS
OF THE RESIDENTIAL
SCHEME**

The West Site will be brought forward initially by way of an Outline Planning Application which will seek to establish the principle of 100 houses within certain parameters. The detail would then follow on in a Reserved Matters Application.

Whilst at this stage we are still considering the Outline Application, to help explain the proposals in more detail there are some indicative images provided below. These are indicative only and approval of these designs is not being sought at this stage.



View 1 - Existing view



View 2 - Existing view



View 1 - Proposed view



View 2 - Proposed view



View 3 - Existing view



View 4 - Existing view



View 5 - Existing view



View 3 - Proposed view



View 4 - Proposed view



View 5 - Proposed view

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HEADLEY COURT MANSION SITE - AUDLEY GROUP

Angle and Audley Group are working in partnership to deliver a retirement care community on the Headley Court mansion site.

Audley is an owner and operator of Care Communities for older people around the country. It currently has seventeen sites across the country.

All of Audley's communities fall within Use Class C2 by virtue of the high level of care available, delivered, 24 hours a day on-site by Audley's CQC registered care staff.



Audley has nearly 30 years of experience of caring for older people. When taken across all their current sites Audley is actively caring for over 2000 older persons in their own homes, allowing them to live out their later years with independence, security and dignity.



Audley have been voted Best Care Community on five separate occasions by their trade body, which also accorded their chief executive the title of Pathfinder in recognition of his pioneering work in developing this new form of care provision.

Audley Care is one of only three providers to operate a Care Academy for the training of our staff.

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AUDLEY GROUP - WHAT IS A CARE COMMUNITY?



Audley Care provides all the services of a care home to residents in the comfort and privacy of their own accommodation, thereby preserving their independence and dignity. This form of care delivery is in absolute accord with Government thinking and that of bodies that provide care to older people. It is an enabling form of care provision that is more effective, more beneficial and importantly avoids institutionalisation.

Audley promotes an active and full life to residents by offering communal leisure facilities and social activities within its developments. The principal communal facilities include the dining room and bar, the hydrotherapy pool, an exercise room and treatment room. Typical classes and activities available to residents would include Yoga and Tai Chi; cinema nights, guest lectures, visits and day trips.



An Audley Care Community is a modern development of the traditional care home. Our residents live in an environment where they can retain their independence while enjoying a high level of interaction with others of similar age. At the same time, they are able to call on whatever care they require.



A resident must have a need for care to come and live with Audley. Every resident entering an Audley scheme is assessed by the head of care and an appropriate, individually tailored care package is put in place. The average age of residents in our existing communities is 81 years. Due to the breadth of care that Audley can provide, we are in a position to commit to our residents, in the lease, that they need never leave once they have moved in with us.



Audley Care is registered with Care Quality Commission (CQC). We train our own staff who, being based on site, have the chance to get to fully know our residents. This allows our residents to become comfortable with our staff, removing any inhibitions that may exist when asking for help and therefore enabling them to make full use of the care available.



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HEADLEY COURT MANSION SITE DEVELOPMENT PROPOSALS

Audley Group is proposing the redevelopment of the Headley Court Mansion Site to provide a care community for older people providing 128 units (Planning Use Class C2).

115 2-bedroom apartments within new buildings and 13 units in the Listed Mansion and Stables. The development would include significant communal facilities and a CQC registered care office all within the restored and reinstated grounds and gardens.

The key features of the Audley Care Community are:

Long-term Use – The use as a care community will secure Headley Court a long term beneficial use for the listed building and grounds on a comprehensive, sustainable basis;

Traffic Generation – The proposed use has significantly reduced traffic generation due to the nature of the residents (no commuting or school run traffic movements);

Parking - There will be a total of approximately 115 car parking spaces provided on site;

Employment – Create between 55 – 65 full time equivalent jobs in a wide range of roles;

Economic stimulation – An Audley Care Community can put in the region of £1.5 million into the local economy each year;

Reduced pressure on NHS – Hospital admissions and GP visits are both substantially reduced for those living in a care community;

Communal Facilities – The Audley Care Community will include a restaurant, bar/ bistro, hydrotherapy pool, exercise and treatment rooms;

Public Access – The grounds and communal facilities would be available to members of the public on a controlled basis;

High Quality Design & Exceptional Landscaping – The development will exhibit the highest quality of design and landscape management.



HIGHWAYS & TRAFFIC - EXISTING SITUATION

Overall, the Headley Court estate has extensive buildings, grounds and car parking areas. The existing Headley Court over many years generated an impact on the road network. This impact on the road network sets the context to compare the redevelopment proposals of Headley Court.

Existing Parking - Information has been collated from both historic and recent traffic data collected in respect of the Headley Court site. The MoD Medical Rehabilitation Centre when operational was a significant traffic generator in the area as shown by the extensive car parking on site over the years. The MOD Travel Plan Survey 2011 showed an average of 348 vehicles parked on site daily.

Existing Peak Hour Traffic - The peak traffic movements associated with the MoD Medical Rehabilitation Centre (excluding Cunliffe Close and Dale View) as measured in the 2016 MOD Traffic Survey were as follows:



1 Hour Peak	Arrivals	Departures	Total
AM Peak 08:00 – 09:00	93	19	112
PM Peak 17:00 – 18:00	5	74	79

Existing Speeds – A survey conducted in September 2019 recorded the following average speeds on Headley Road for the 3-hour morning peak 07:00 – 10:00am.

ATC Location	Average Surveyed Weekday Mean Speed	
	Northbound	Southbound
1. Headley Road, nr. Highlands Farm	33.4mph	33.3mph
2. Headley Road, nr. Pebble Lane	30.7mph	30.1mph
3. Headley Road, nr. Headley Court	33.6mph	31.7mph

Existing Junction Queue - The recent 2019 Survey also recorded queue length and queuing time at the Headley Road/A24 junction.

Peak Hour	Headley Road (East Arm)		
	Max Surveyed Queue Length	Modelled Max Average Delay	
		Left-turners	Right-turners
07:45 – 08:45	6 vehicles	28.6s	78.6s
16:00 – 17:00	4 vehicles	15.8s	68.4s

HIGHWAYS & TRAFFIC - PROPOSED DEVELOPMENT

The proposed development has been assessed from a highways and traffic perspective.

This has been undertaken separately for the Mansion Site and the West Site and then combined. The impact can be compared to the existing Headley Court impact.

Proposed Parking – Parking will be provided in compliance with SCC parking guidance for rural areas. Electric Vehicle Charging provision and Cycle parking will also comply with SCC’s requirements. Car parking provision at the proposed development is set out below:

Parking Provision	
Headley Court West Site - 100 residential units	200 allocated on-plot parking bays - 2 per dwelling + 12 visitor parking bays
Headley Court Mansion Site - 128-unit Retirement Care Community	Parking to be provided in-line with local standards and will be 115 spaces

Potential Peak Hour Traffic – The projected traffic generation for the proposed development is set out for the morning and evening peak traffic periods below:

Morning 1hr Peak (08:00 – 09:00) and 3hr Peak (07:00 – 10:00) Projected Traffic

Headley Road	08:00 – 09:00		AM 3-hour Peak 07:00 – 10:00		
	N-bound	S-bound	N-bound	S-bound	Total Two-way Flows
Headley Court West Site - 100 residential units	35	13	74	32	106
Headley Court Mansion Site - 128-unit Retirement Care Community	9	13	25	39	64
Total	44	26	99	71	170
Former MoD Site Use (2016 survey)	93	19			

Evening 1hr Peak (17:00 – 18:00) and 3hr Peak (16:00 – 19:00) Projected Traffic

Headley Road	17:00 - 18:00		PM 3-hour Peak 16:00 - 19:00		
	N-bound	S-bound	N-bound	S-bound	Total Two-way Flows
Headley Court West Site - 100 residential units	12	28	39	69	108
Headley Court Mansion Site - 128-unit Retirement Care Community	8	8	23	24	46
Total	20	36	62	93	154
Former MoD Site Use (2016 survey)	5	74			

Conclusion - Overall the proposals will result in less weekday peak hour vehicle movements than that previously generated by the MoD Medical Rehabilitation Centre use on the site.

ACCESSIBILITY & BUS SERVICES

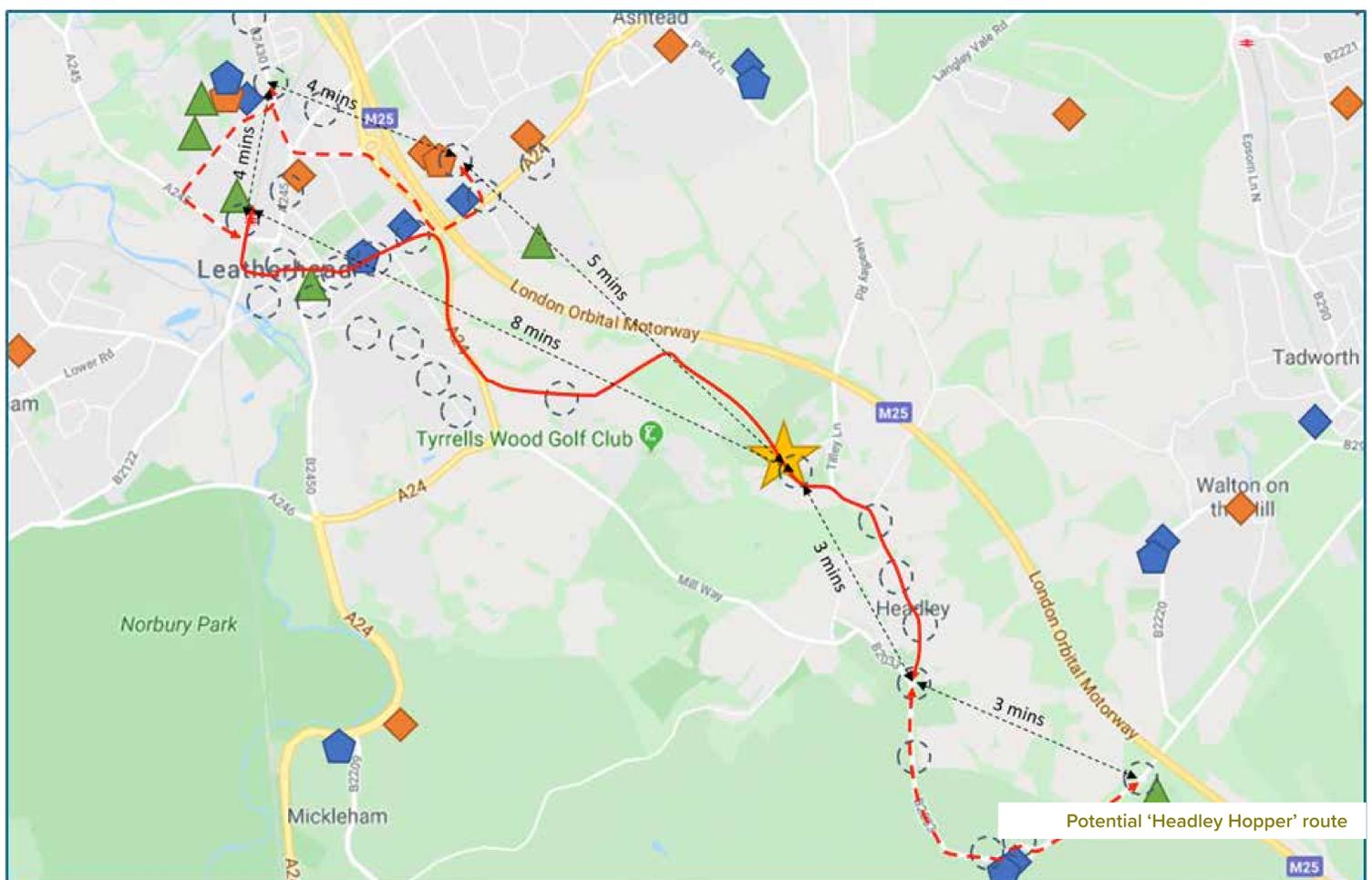
As part of the proposed development it is acknowledged that improvements to accessibility and public transport should be provided. Details of how this may be achieved are set out below.

The Headley area is currently served by Bus Route 21 which serves between Epsom and Crawley. As the existing bus provision is limited it is proposed to enhance the public transport provision through the introduction of a new community transport mini bus service, which we have named the 'Headley Hopper'.

The Headley Hopper will in addition to providing the Headley Court development with a convenient and frequent bus link to Leatherhead and its facilities, including the station, will also serve the village of Headley and its local residents.

We are currently in discussions with SCC Passenger Transport Team about the details of the service, but it is envisaged that the Headley Hopper will provide a link to Leatherhead Station at peak weekday commuter times, provide transport to key local schools and serve as a local bus service during the rest of the day, including weekends.

Details are provided showing its possible route along with indicative weekday timetables.



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ARBORICULTURAL, ECOLOGICAL & LANDSCAPE WORKS

The tree survey was completed to record information on the quality and value of existing trees and vegetation. The survey concluded that Headley Court has an extensive range of trees in both age and species.

A landscape and visual impact assessment was undertaken to provide information on the site's ability to accommodate change. The assessment concluded that potential mitigation measures might include building material selection, building heights, vegetation retention and new tree, hedgerow and shrub planting to provide strategic visual barriers.

Several ecological surveys have been undertaken, these include a habitat survey and specific species surveys including badger, bat, Hazel Dormouse, Great Crested Newts (for ponds offsite) and reptiles. These surveys concluded that there are a number of species on site and that specific mitigation measures could be easily accommodated within the development. This included retention of specific vegetation, translocation of specific plant species, sensitive lighting proposals, specific construction methodologies and installation of bird and bat boxes on existing trees/ proposed residential properties.

Headley Court has an extensive range of trees in both age and species. The more prominent trees being found along the site boundaries and within an ornamental group adjacent to the existing garages on the west of the site.



**New
Public Open
Space**

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FEEDBACK & NEXT STEPS

Thank you for taking the time to attend the public event for the new proposals to redevelop the former Headley Court rehabilitation centre. We hope you found it useful and would be grateful if you would take the time to submit a feedback form and tell us what you think.

All the information on display will be available online at www.headleycourtconsultation.com. Following today's exhibition, we will review all feedback received and, where possible and appropriate, incorporate this into the proposals as they progress.

Should you have any further questions or comments, or if you would like to discuss the plans with the team following this exhibition, you are welcome to contact us using the details below.

All of the written feedback we receive from this event will be included in a Statement of Community Engagement that will be submitted to the council as part of the planning application.

Freephone: 0800 319 6187

Email: info@HeadleyCourtConsultation.com

THANK YOU.

