

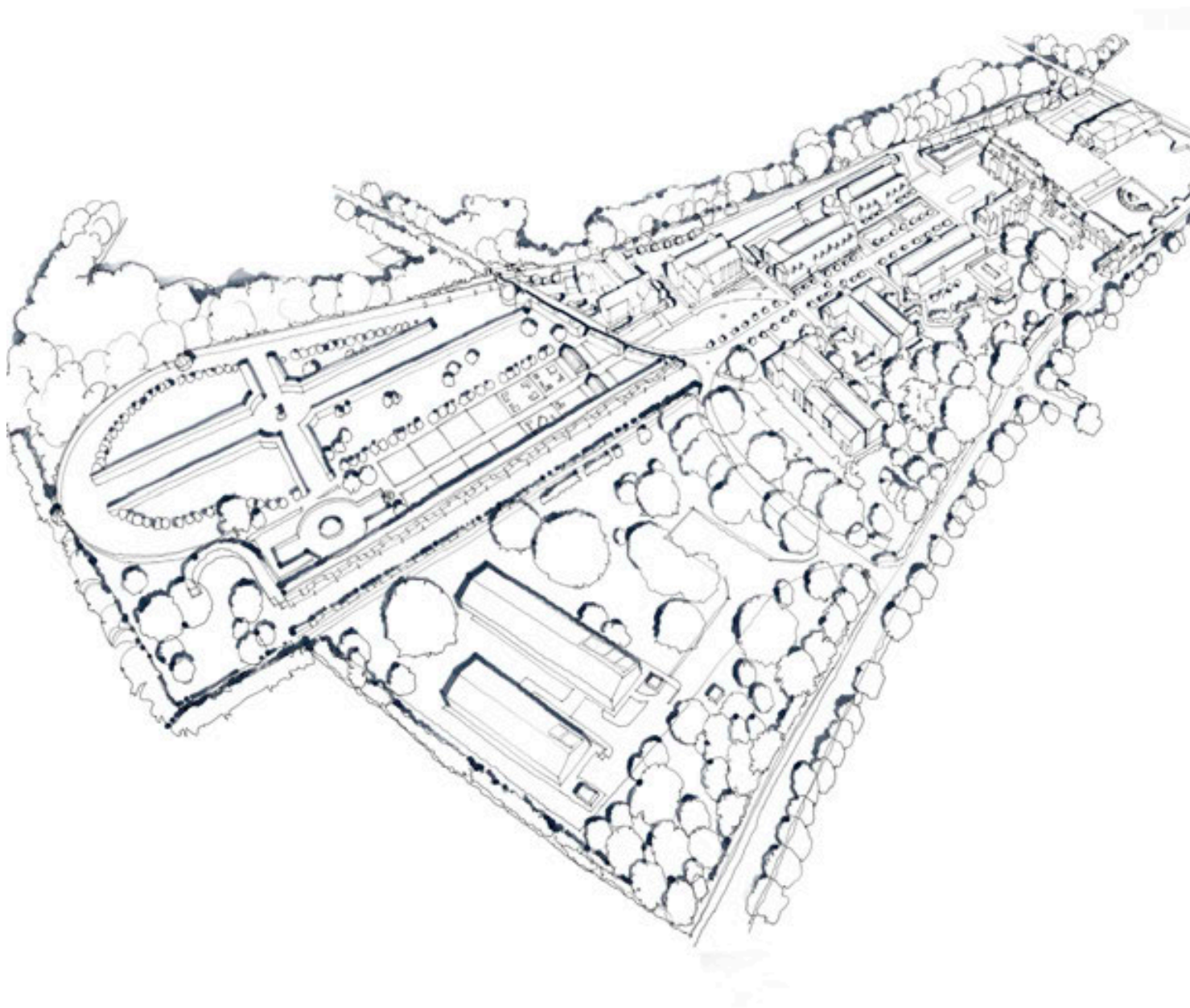
# Headley Court Mansion Site

Angle Property (Headley Court) LLP

Design Code  
02.12.2020

A11908 GR0020 P1

Private & confidential  
Not for general circulation



tp bennett

# Headley Court

## Project Details

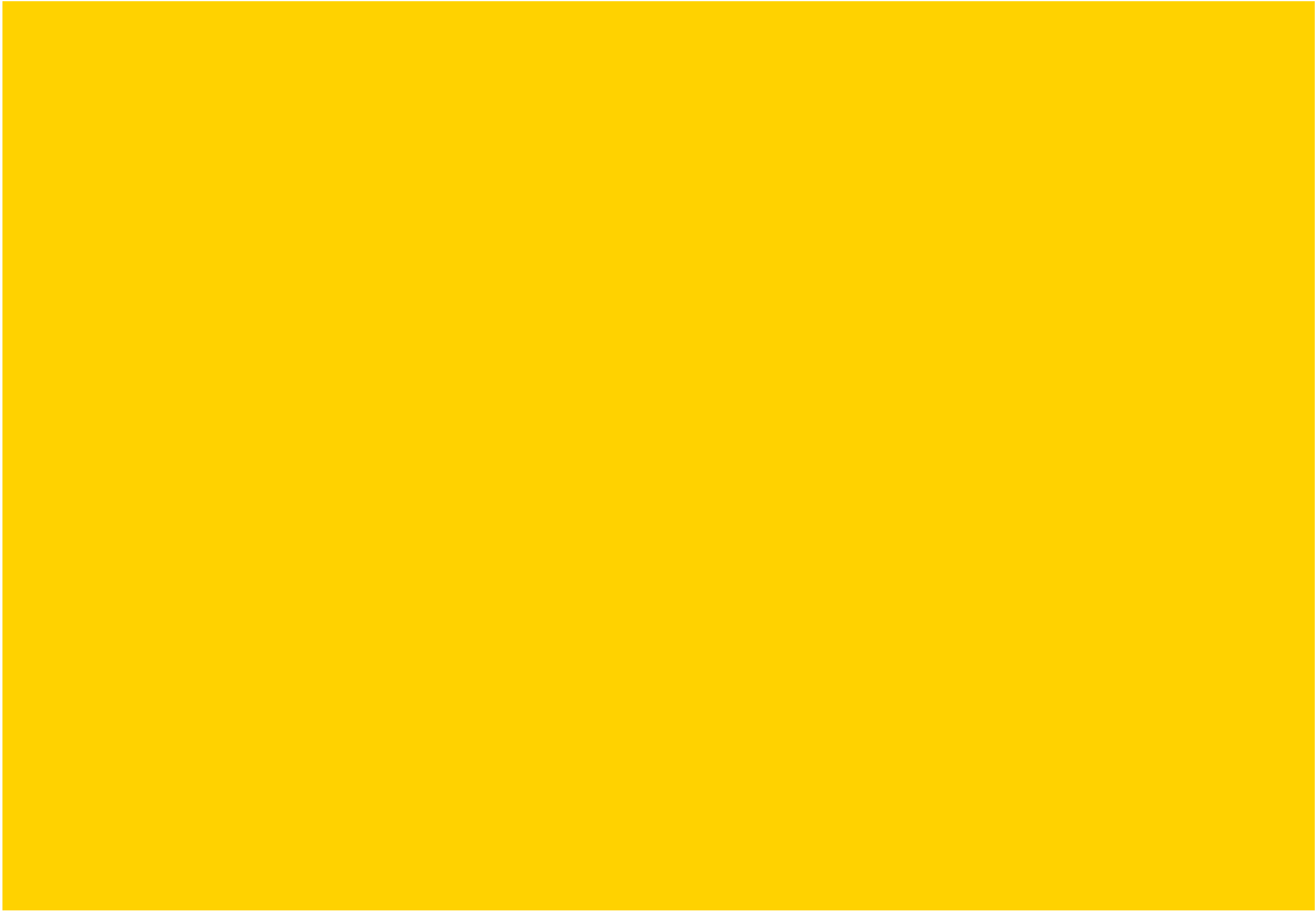
<b>Client:</b>	Angle Property (Headley Court LLP)
<b>Project:</b>	A11908 Headley Court Mansion Site
<b>Document:</b>	Design Code
<b>Description:</b>	Outline Planning Application

	<b>Name/title:</b>	<b>Signature:</b>	<b>Date:</b>
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# I.Introduction





Existing Site Aerial



# Headley Court

## I.1 Scope of Design Code

The Design Code is submitted as part of the Outline Planning Application to provide the framework for which a future detailed design can be brought forward for approval. In Conjunction with the Parameter Plans, the Design Code is to be considered as a 'control' document which any future Reserved Matters Application must comply with.

The Design Code has been prepared on behalf of Angle Property for the redevelopment of Headley Court Mansion.

### The Role of the Design Code

The use of Design Codes is recognised in the 2006 DCLG Practice manual, as a:

"A set of illustrated design rules and requirements which instruct and may advise on the physical development of a site or area. The graphic and written components of the code are detailed and precise, and build upon a design vision such as a masterplan or other design and development framework for a site or area'."

The benefit of the use of the Design Code in this instance is to establish the key principles for any future development whilst preserving the opportunity for a future user of the site to develop in detail the accommodation to perfectly suit their development needs through Reserved Matters application, to that the very best environment is created for future residents on the site.

This Design Code is intended to set the context for a future Reserved matters Application, and steer the future applicant in the preparation of a design adhering to the principles agreed within the initial design discussions between Angle Property and MVDC, in the context of the current Outline Application.

This Design Code has been separated into a number of key sections reflecting the development of the design in discussions between the applicant and MVDC.

## I.2 Structure of Design Code

The design code is broadly structured with the following sections;

### M. Masterplan Principals

- M01 – General Design Approach to House, Landscape and Response to Existing Character
- M02 - Retention of Formal axis with informal character to its edges – village street typology
- M03 - Integration and network of discovered/ hidden landscaped features

### S – Siting, Scale & Shape

- S01 – Siting & Location (Methodology of Locating Built Form)
- S02 – Gaps between Buildings
- S03 - Use - Morphology of a Typical Apartment & Building
- S04 – Importance of Building Form in longer views
- S05 – Scale (Ridge Heights)
- S06 – Separation of Main Façades

### A - Architecture

- A01 – Architectural design Approach to the main Axis
- A02 – Roof Forms (Expression of double pitch roof typology)
- A03 – Architectural Language (Role / Function)
- A04 – Additive Elements
- A05 – Architectural Materiality

### L - Landscape

- L01 – Character Areas & Key Spaces (Village Street / Woodland / Eastern Boundary to Amenity)
- L02 – Landscape Materiality (Paths & Boundaries)
- L03 – Treatment of Parking Spaces (Lighting / Surfaces / Screening etc.)
- L04 – Treatment of Heritage Items in Landscape

### Conclusions

# Headley Court

## I.3 Description of Development Proposal

### Scope of Outline Planning Application

The Outline Planning Application sets out the principals and parameters for the proposed siting of buildings, scale and access for which we are seeking approval. These principles and parameters which are set out within the Application Drawings, and the Design Code document, will provide the basis for a more detailed Reserved Matters Applications at a later date.

### Design & Access Statement;

This document provides an introduction to the design strategy and consultation undertaken prior to submitting the Outline Planning Application. The application is supported by a heritage appraisal, and detailed assessment of the site, including an illustrative proposed scheme, within the design parameters proposed and an indicative landscape layout.

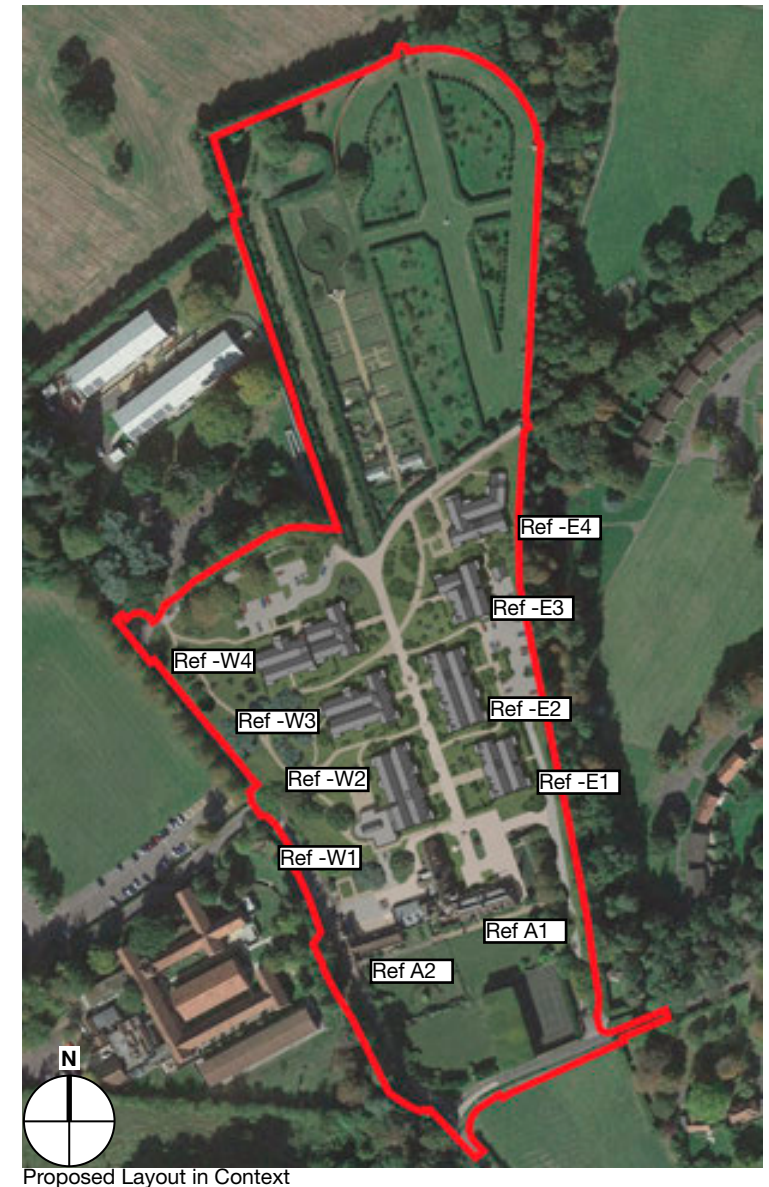
### Design Code;

The premise of the document is to describe the principal design parameters and to define the design direction for those elements that have not been proposed within the parameters, and that will be subject to a detailed reserved matters application in due course.

### Drawings;

The application drawings include a set of parameter plans, for which permission is sought, which will set the scope of a future reserved matters application.

The additional information pertaining to the extent, character and architectural design of this outline application is for supporting illustrative purposes only and only serves to evidence that a development of this scale and nature would be appropriate and deliverable to a high standard, within the parameters set out.



Proposed Layout in Context



# Headley Court

## I.4 Scheme Description;

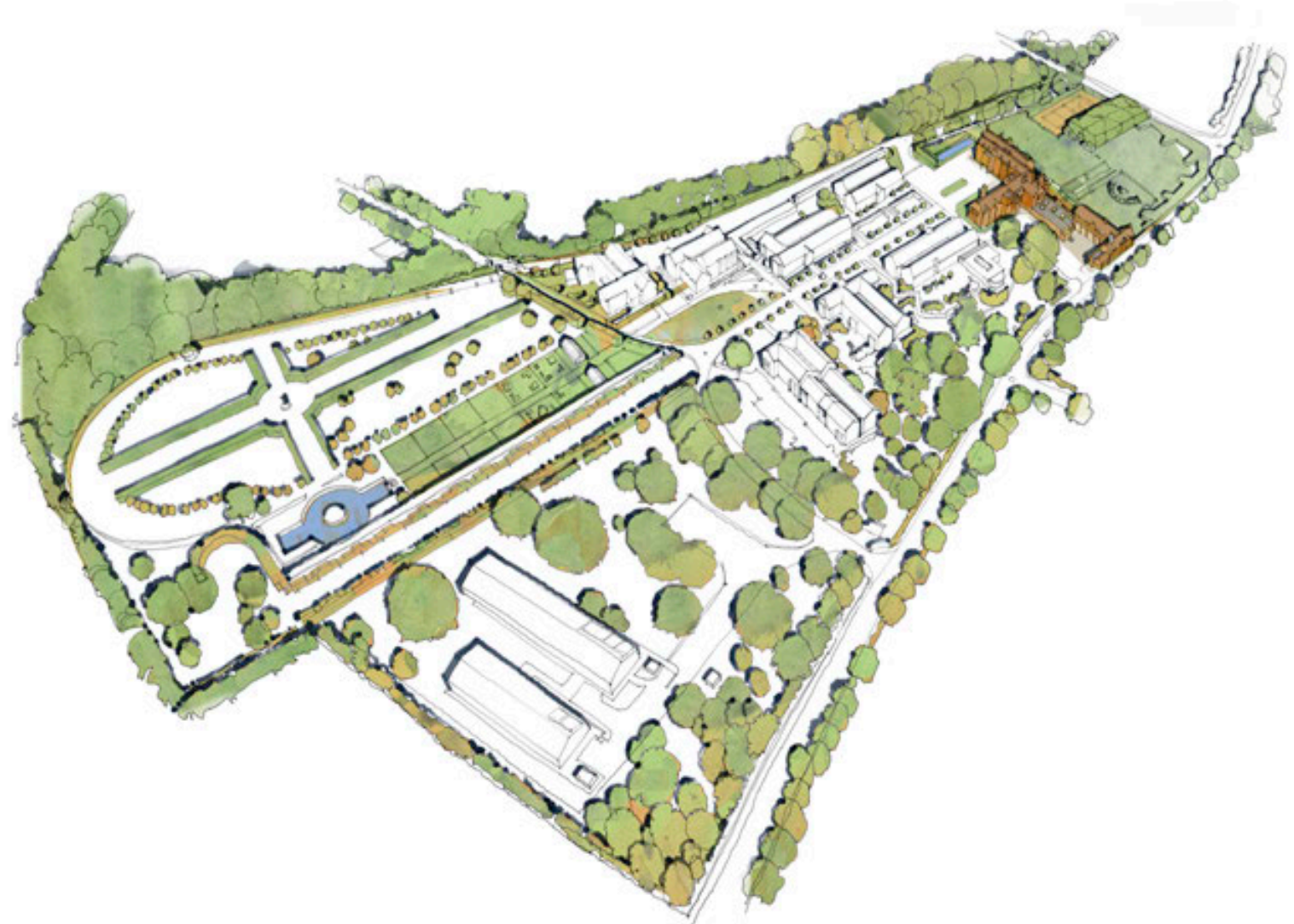
### Description of Development;

Application for Outline Planning permission for works at the Headley Court Mansion Site (Land to East of Headley Road) to comprise the retention and conversion of the listed mansion house building to deliver 18 senior living (Use Class C2) units with ancillary facilities, demolition of existing buildings and redevelopment to deliver 93 new-build senior living (Use Class C2) units and associated facilities between 1 and three storeys in height with associated works including parking. Permission is sought for access, layout and scale with matters of landscaping and appearance reserved.

This design code should be read along side the Applications Parameter Plans and be used to develop detailed architectural design and landscape proposals for the redevelopment of the Headley Mansion Site.

The development is in the context of the Listed Mansion and adjoining Stable block, coded A1 and A2 on the 'proposed layout in context' plan on the opposite page.

9 new buildings are proposed to the North of the mansion, on either side of the main site axis. These are coded W1-4 and E1-5, and also identified on the 'proposed layout in context'.



Proposed Aerial Sketch



M. Masterplan Principles  
S. - Siting, Scale & Shape  
A. - Architecture  
L. - Landscape

# Headley Court

## M.00. Masterplan Principals Overview



M.0.0 Existing Site Layout/ Aerial



M.01. General Design Approach to House, Landscape and Response to Existing Character



M.02. Retention of Formal Axis with Informal Character to its Edges



M.03. Integration and Network of Discovered/ Hidden Landscape Features



# Headley Court

## M.01. General Design Approach to House, Landscape and Response to Existing Character

### Context & Intent;

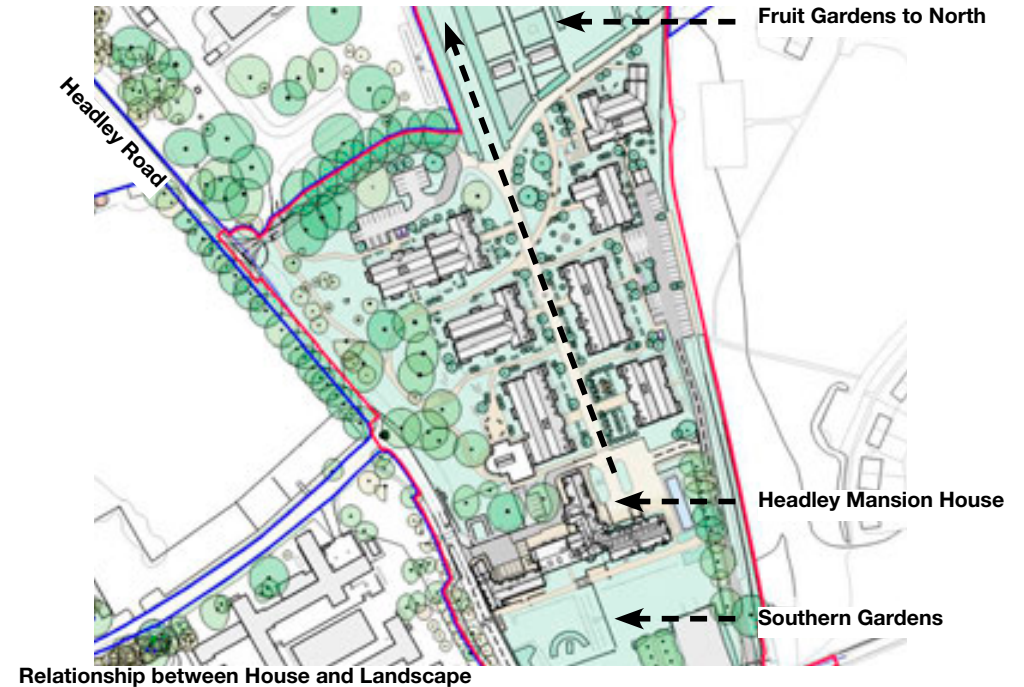
The purpose of this code is to define the general approach to new development within the context of the Headley Court Mansion Estate, to the east of Headley Road. The mansion and surrounding gardens are inextricably linked with one another, and a common approach to both should be developed. Headley Court Mansion is a Grade II listed building with a unique history, and future development plans should seek to enhance its heritage value and setting.

### Design Code: M01.1

The new elements within the proposed development should preserve and respect the historic value of the site and recognize the link between within the main house and the surrounding landscape. The more minor heritage elements around the site should be integrated into the new residential environment. The new design should be inspired and led by the character of the original and seek to preserve the hierarchy between the main house and the surrounding estate structures.

### Design Code: M01.2

The new design should develop its design approach from an appreciation of the historic development and unique character of the existing buildings, to reinforce the 'Sense of Place' already present on the site and recognize the phases of its history.



Appreciation of Setting & Space



Headley Mansion House Composition

# Headley Court

## M.02. Retention of Formal Axis with Informal Character to its Edges

### Context & Intent;

The existing estate has always been in private ownership, or as a secure environment, whilst in the use of the Ministry of Defence. The public have not been able to access the site previously.

The identity of the site to passers by has been defined by the architecture and the boundaries of the estate. However upon visiting the site, the landscape is revealed as being of great significance. The presence of the main axis stretching north across the landscape is a feature of particular importance as the principal device around which the estate has evolved.

The new development proposals for the site should preserve the significance of this axis within the wider estate landscape, and new development should be aligned with the relationship between the historic house and this landscape feature.

In a future residential environment, the spaces around the main axis have significant potential to become the principal organizing feature at the heart of a new layout. As a space for gathering residents together, and encouraging interaction, there is a great opportunity to use the space as the social heart of the development.

### Design Code: M02.1

The new proposals should be consciously orientated in respect of the main landscape axis within the existing landscape.

### Design Code: M02.2

The new proposals should consider the character of the spaces through which the axis will pass, and achieve a balanced relationship across it, maintaining a degree of symmetry.

### Design Code: M02.3

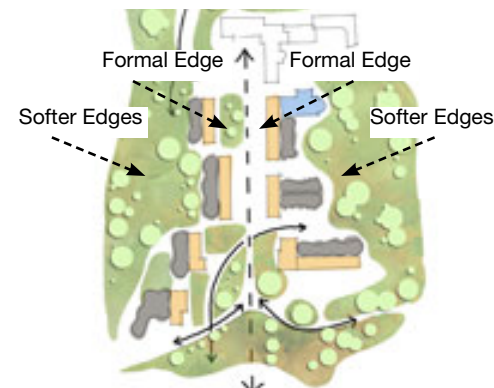
The importance of longer views along the axis should be recognized, as the ground levels fall away to the north. There should be a conscious sequence of spaces tied together along this route to enrich the experience of the pedestrian.

### Design Code: M02.4

The length and extent of the gardens to the North of the site reduce the impact of the main house upon these spaces. However new development must appear appropriately balanced in views from the northernmost garden perimeter, on the main axis.



Orientation and Character in Response to Main Axis



Emergence of Characters



Importance of Longer Views Towards House

# Headley Court

## M.03. Integration and Network of Discovered/Hidden Landscaped Features

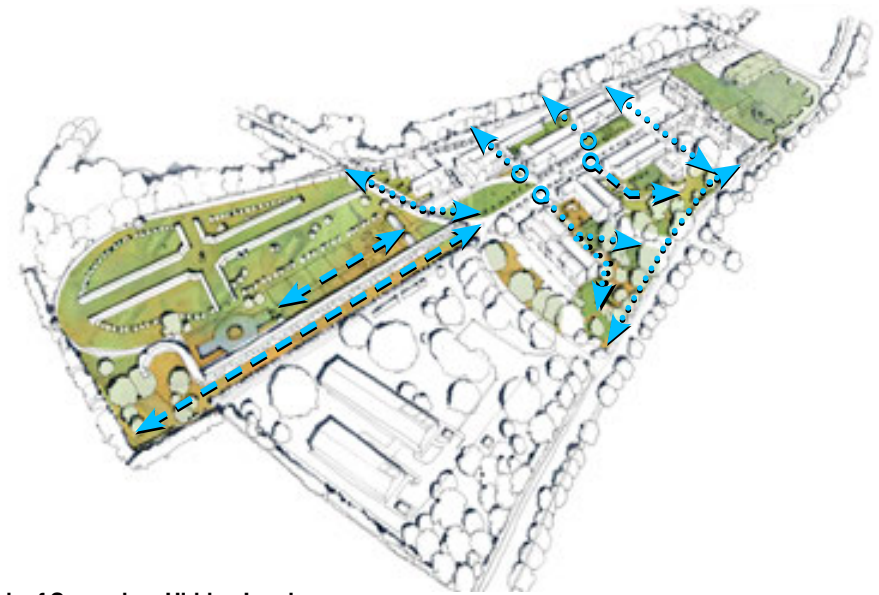
### Context & Intent;

The design team consider that one of the most memorable elements of the existing landscape, and the experience of walking around it, is the initial of exploration, as new spaces are discovered, each contrasting with one another.

The experience is heightened through the presence of the main axis as an orientation device, from which these discoveries can take place. The main axis therefore is the organising device which provides access through a network of secondary routes to the wider landscapes. This pattern of organisation should be maintained within the landscape within any new development.

### Design Code: M03.1

The proposed layout should prioritise the treatment of the main axis within the developing design, whilst including a network of secondary routes, which can be used to fully access and explore the wider landscape.



Network of Secondary Hidden Landscape



Discovered Spaces



Discovered Wooded Parkland





M. Masterplan Principles  
S. - Siting, Scale & Shape  
A. - Architecture  
L. - Landscape

# Headley Court

S.00. Siting & Location Principles;

S.01 Siting & Location  
(Methodology of Locating Built  
Form)

S. 02. Separation Between  
Buildings

S.03. Use - Morphology of  
Typical Apartment Building  
A.04. Façades and Rhythms

S.04. Scale of New  
Development

S. 05. Importance of Building  
Form in Longer Views

Parameter Plans



Proposed Indicative Roof Plan

# Headley Court

## S.01. Siting & Location (Methodology of Locating Built Form)

### Context & Intent;

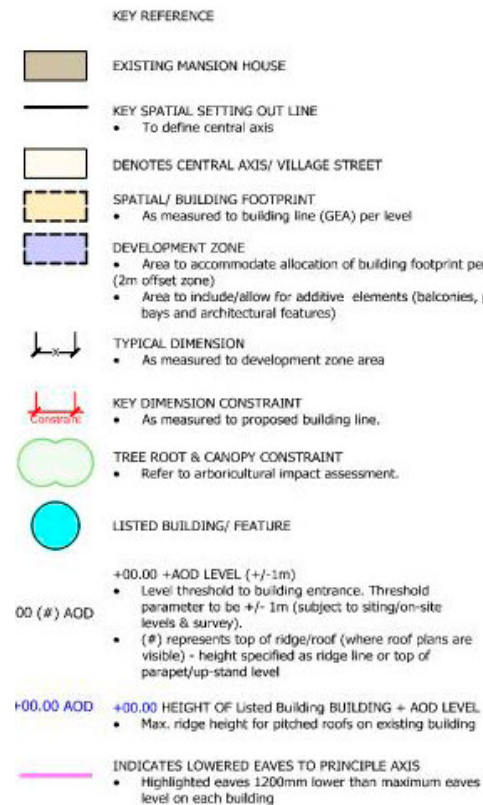
Within the context of this outline application, we have sought to define the approximate position of the principal buildings within specific envelopes. A degree of flexibility within these envelopes has been retained, to allow for local re-positioning of the elevations to accommodate more detailed architectural design in the future.

The heights of the buildings have been similarly defined. The architectural language of the buildings, developed in dialogue with Officers at MVDC, assumes façades to the new buildings, with variety and interest, and features potentially projecting from the line of the main façade. These projecting elements and features will assist in developing a common language with the existing main house. A zone around each proposed building has been reserved to allow for the development of these design features in due course.

The parameter drawings set out the zones in 3-dimensions, within which each new building is to be located. In certain locations critical minimum distances have also been identified, to ensure that the tolerances set out cannot contribute to an overly narrow, or poorly proportioned space.

### Design Code: S01.1

The new buildings proposed should lie within the proposed development zones, defined in plan, and section, within the Parameter Plans. Critical widths will be explicitly defined within the parameter plan layouts where critical for the success of certain spaces.



Ground Floor Siting Parameter Plan



# Headley Court

## S. 02. Separation Between Buildings

### Context & Intent;

The quality of the existing architectural and landscape environment at Headley Court is partly achieved through well proportioned spaces in the context of the existing buildings, where sufficient space is provided around buildings, to allow for the architecture and landscape to both contribute to the qualities of the spaces.

When considering the parameters needed to set out the positions of new buildings within this context, it is necessary to identify those locations where specific distances between façades are necessary to ensure there is no compromise to the quality of the future environment. Therefore the parameter plans note specific minimum distances in specific locations.

Minimum distances are also applicable to preserve privacy within residential accommodation, both between private windows and the public realm, and also between habitable room windows overlooking one another.

Whilst structured landscape proposals and planting can assist in this role, minimum distances also play a part in ensuring that these aspects of residential quality are maintained.

### Design Code: S02.1

Buildings should be appropriately spaced to maintain specific minimum distances at certain points around the site. These minimum distances are noted in the setting out and siting parameter plans.

### Design Code: S02.2

There should be a minimum of 20 metres between the principal façades across the main axis. This will ensure that the openness of this key space is preserved, and to preserve the privacy of the habitable rooms addressing one another across this space.

### Design Code: S02.3

Spacing between certain buildings must also be sufficient to allow for the creation of meaningful exterior spaces encouraging pedestrian movement around the site, without compromise to the privacy experienced within habitable rooms adjacent to these routes.

### Design Code: S02.4

Spacing between any new development and the Headley Mansion and Stable buildings must be sufficient to not compromise the setting of the Listed Buildings.

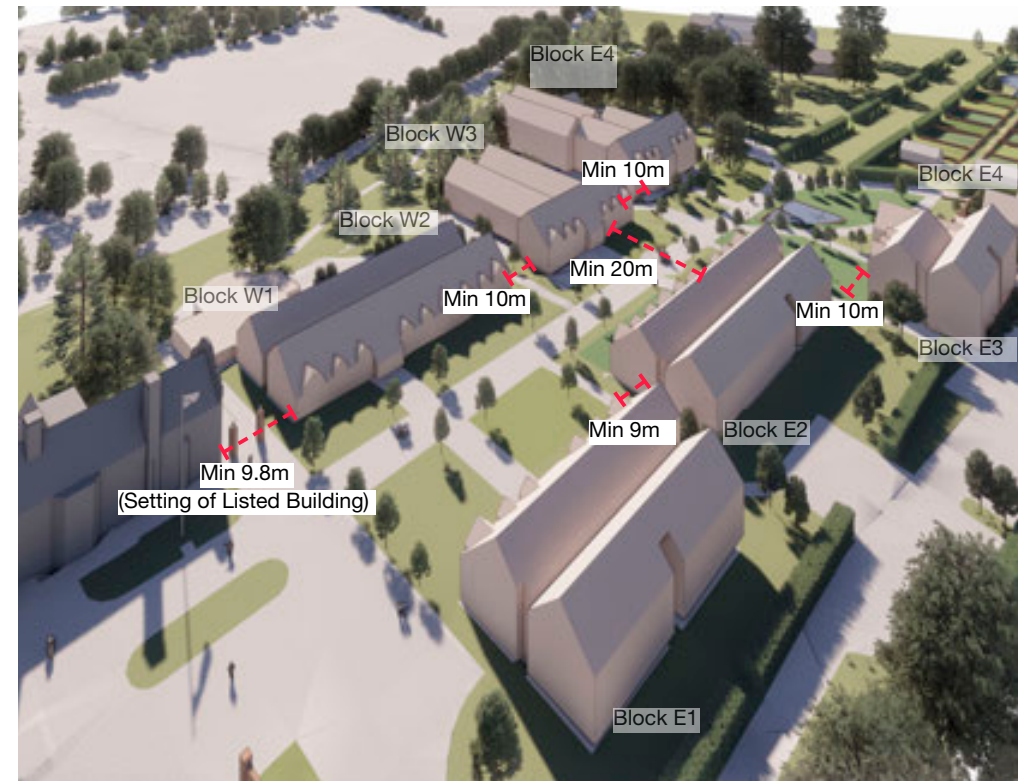


Illustration of Minimum Distances



Distance of Development on Principal Facade



# Headley Court

## S.03. Use - Morphology of Typical Apartment Building

### Context & Intent;

A common residential building typology has been developed specifically for use upon this site. Within a typical building layout, the apartments comprise habitable rooms given over to either bedrooms or living /dining rooms.

The principal aspect from these buildings will be out of the long elevation, with only secondary windows looking through the narrower gable ends of the buildings. In some cases a short corridor will provide internal access to the apartment entrances.

Within the parameter drawings, allowance has been made from some external amenity space, at either ground floor or within an external balcony structure where appropriate. Internal balconies can also be accommodated within the parameter zones identified.

At ground floor therefore, the landscape will need to accommodate an appropriate design to assist in providing privacy for an area of private defensible space, whilst still encouraging occasional interaction between neighbours. Residential entrances will become excellent opportunities for chance encounters between residents, and therefore seating areas should be provided.

At the gable ends of the buildings, where active habitable room windows will be less frequent the architecture of the building should recognize the size of space they address, with finer architectural detail, and points of interest. South facing gables will provide pleasant stopping places for residents and may also provide opportunities for informal seating.

### Design Code: S03.1

The proposed residential apartment buildings will have habitable room windows, to living and sleeping areas, with outlook at ground, first and second floors. The privacy within the apartments should not be compromised by too close a proximity to publicly accessible spaces.

### Design Code: S03.2

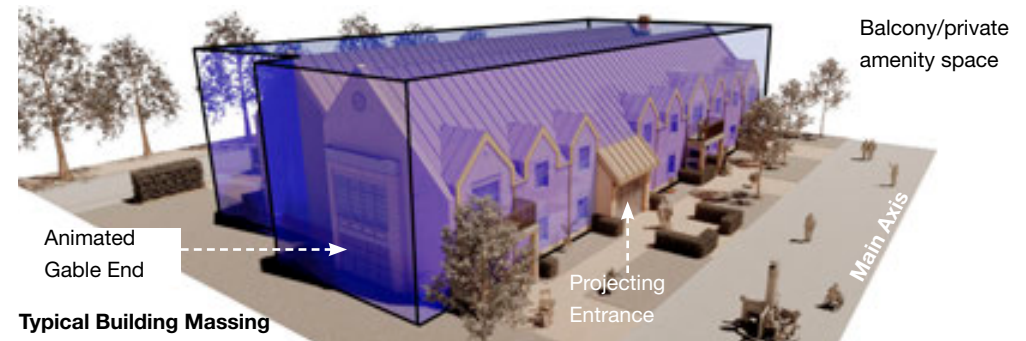
Entrances to the new residential buildings should be designed to encourage meetings between residents. Seating and stopping places should be integrated into the adjacent landscape.

### Design Code: S03.3

The gable elevations of the new residential buildings should be animated with occasional windows and architectural detail appropriate to the spaces that they address.



Proposed Siting of New Development



Typical Building Massing



# Headley Court

## S. 05. Importance of Building Form in Longer Views

### Context & Intent;

There is a strong relationship between the house and its immediate landscape. The landscapes around the building vary significantly in function and identity. The use of the building over time in a number of different roles has changed the hierarchy of the spaces multiple times.

When the house served as a family home, the strength of the relationship between the house and its southern garden was perhaps the most important, with the south-facing principal rooms addressing the garden and landscape features adjacent to the south elevation.

As the house shifted into an MoD use, with the addition of many more specialist facilities, the focus of the garden moved northwards, to the axis, parade ground space, and use of the garden for convalescence.

On a site of this size, views of the house from the gardens must be considered from a number of viewpoints. Similarly key views from the main rooms within the house must also be recognized.

The key rooms within the house remain at ground floor within the mansion, and therefore the nature of any changes proposed to the southerly gardens must be considered with this aspect in mind.

The gardens to the North, are lower in level than the main house, which has been built at the highest point of the site. The house is therefore

legible in silhouette against the sky from these locations, with the existing chimneys establishing visual identity of the house and its architectural hierarchy within the estate. These longer views should be recognized in the design of the new development.

Views of the house are possible from the northern boundary from a number of locations. Views along the main axis are more significant than views looking across the wider gardens from the north east and should be prioritised.

### Design Code: S04.1

Building forms should recognize their contribution to the composition of longer views from the North along the central axis.

### Design Code: S04.2

Greater consideration must be given to designed views within the existing landscape, than to unplanned views.

### Design Code: S04.3

Any significant views from the house into the landscape should be recognized within the proposals. This should include any significant views from principal rooms within the Mansion.



View 01



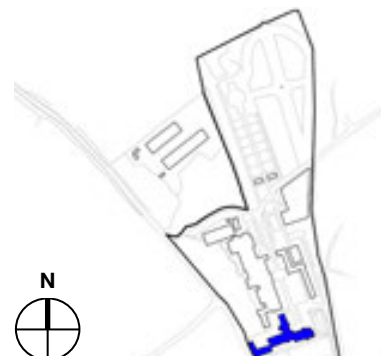
View 02



View 03



View 04



Site Reference Plan



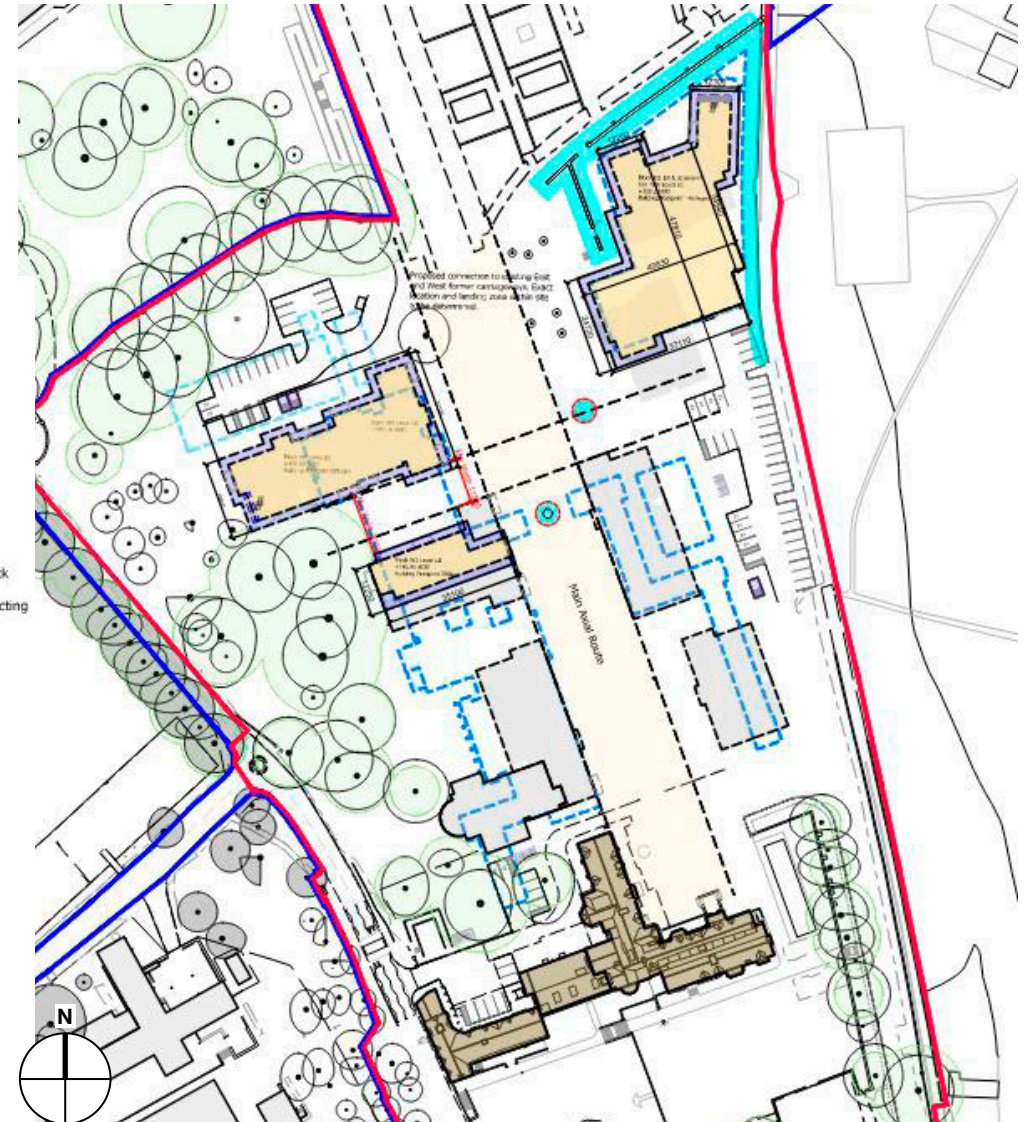
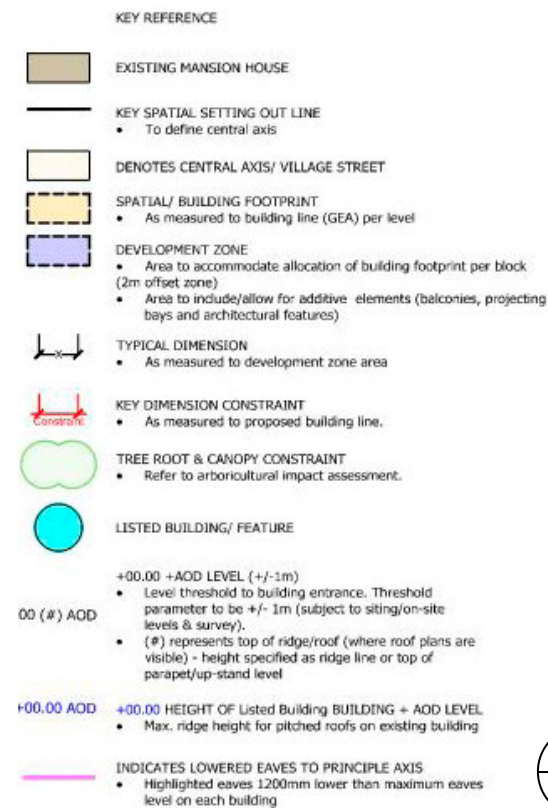
View 05



# Headley Court

## S.06. Parameter Plans

Lower Ground Floor Siting Parameter Plan



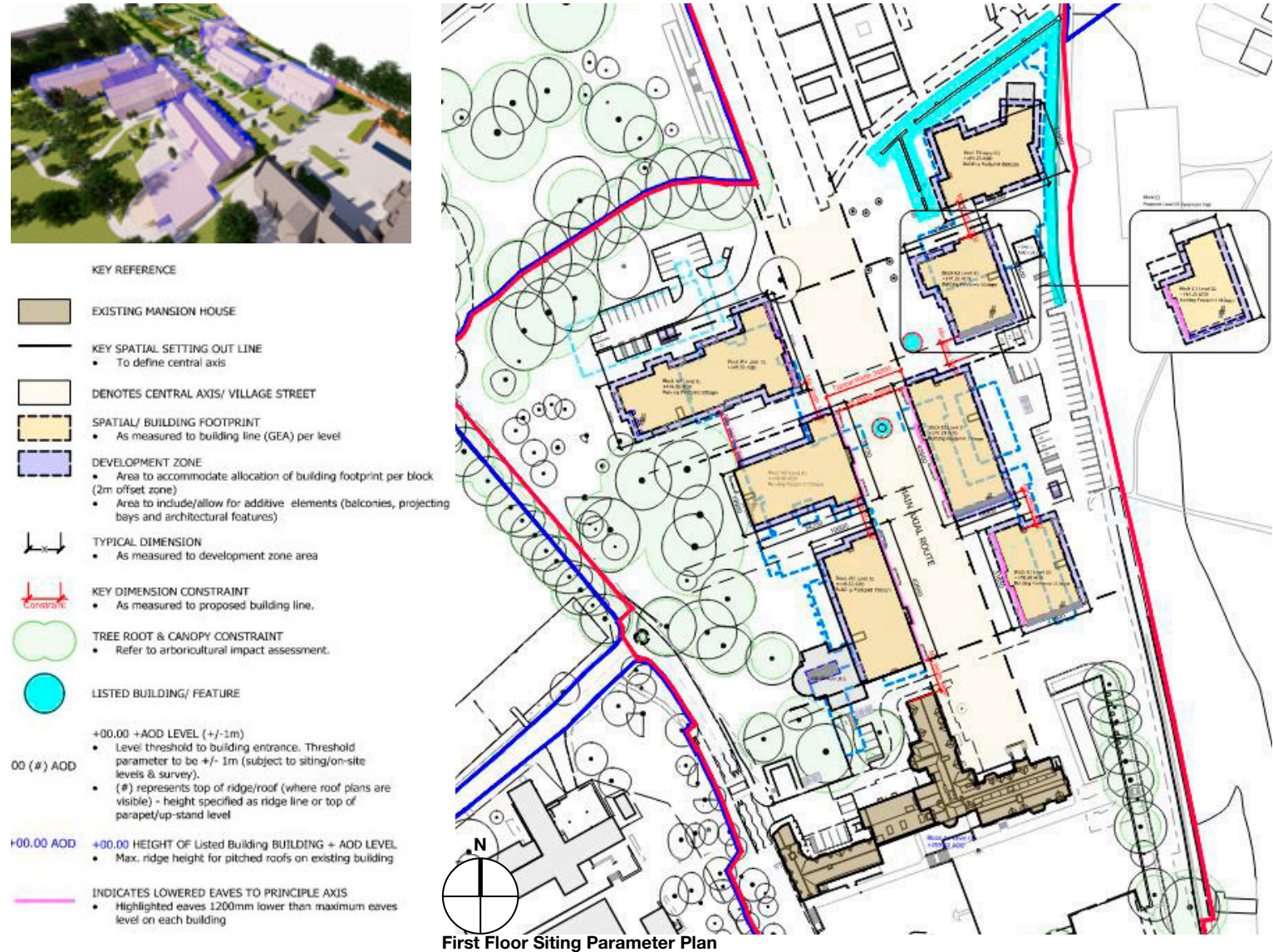
Lower Ground Floor Siting Parameter Plan



# Headley Court

## S.06. Parameter Plans

First Floor Siting Parameter Plan



## S.06. Parameter Plans

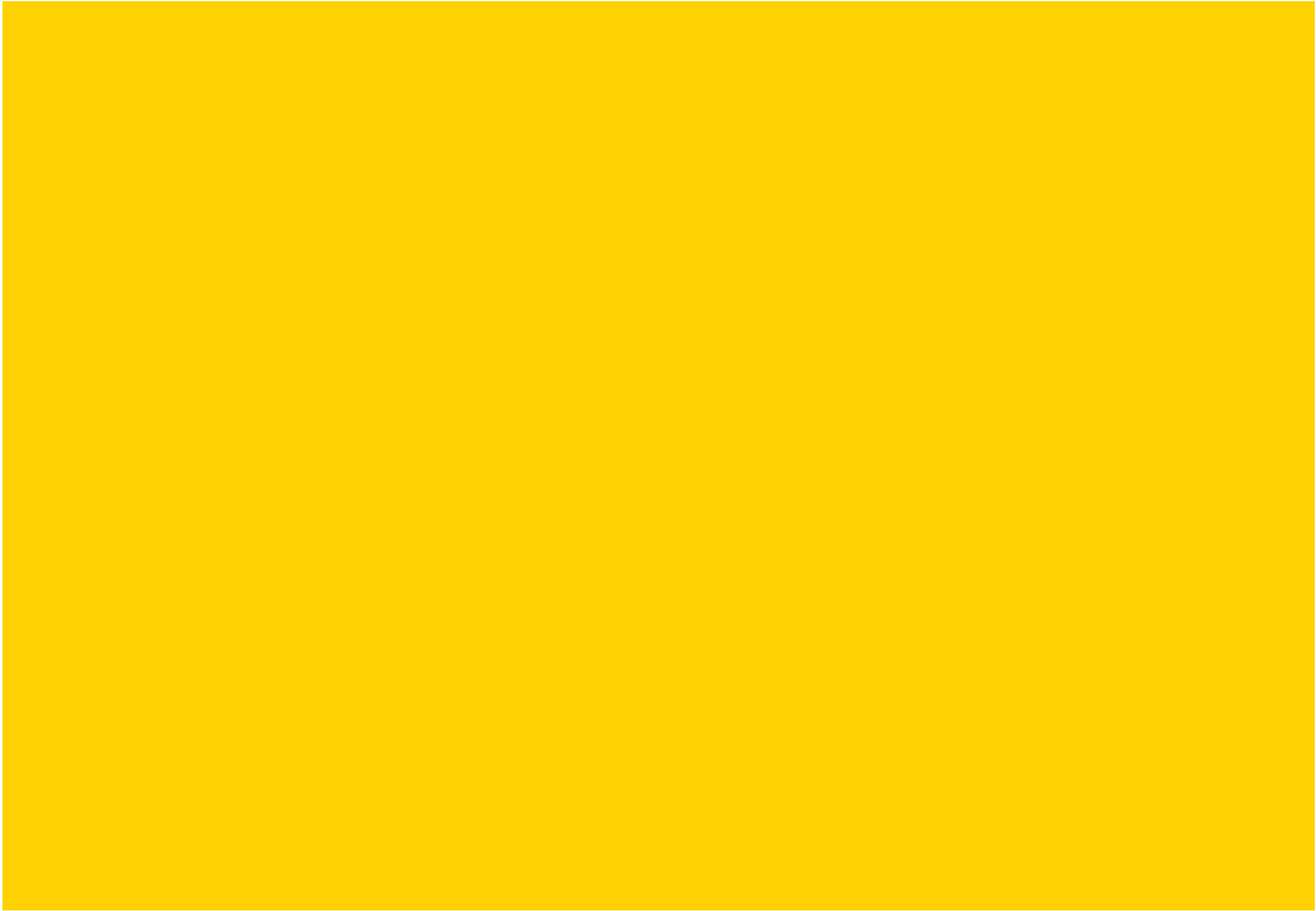




# Headley Court

## S.06. Parameter Plans







M. Masterplan Principles  
S. - Siting, Scale & Shape  
A. - Architecture  
L. - Landscape

# Headley Court

## A.00. Architectural Principles;

### A.01. Architectural Design Approach to the Main Axis

### A.02. Roof Forms (Expression of Double Pitch Roof Typology)

### A.03. Architectural Language (Role & Function)

### A.04. Façades and Rhythms

### A.05. Architectural Materiality



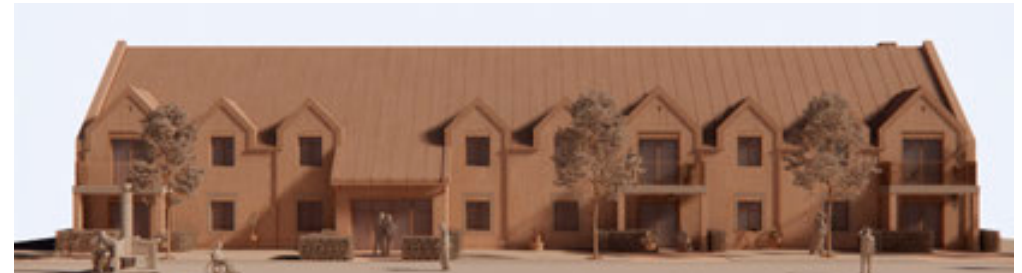
Indicative Formal View From Axis



Indicative Typical Floor Plan



Indicative North Facade



Indicative West Facade



Indicative South Facade



Indicative East Facade

# Headley Court

## A.01. Architectural Design Approach to the Main Axis

### Context & Intent;

The route along the principal axis is considered to be the main 'promenade' across the site. It is focused on the pedestrian, and car free in nature with vehicles discouraged except in emergencies. This space connects all of the proposed routes around the wider landscape and is envisaged as the social heart of the scheme, with the residents shared spaces proposed at the southern end, in the ground floor of the mansion.

The unique nature of this space lies also in the visual connection between the new buildings and the existing north elevation of the mansion. This space is therefore the point at which the architectural hierarchy within the site will be most apparent.

The more formal nature of this space should also be reflected in the architectural façades of the buildings flanking the axis, and the proposed landscape along the route.

### Design Code: A01.1

The prominence of the main axis requires adjacent façades to have an appropriate architectural treatment, successful when viewed in elevation, and when viewed along the main axis from the North or the South. The eaves treatment of the new buildings along the main axis should be appropriate to reinforce the perception of a reduced architectural hierarchy, when compared to the North elevation of the main house.

### Design Code: A01.2

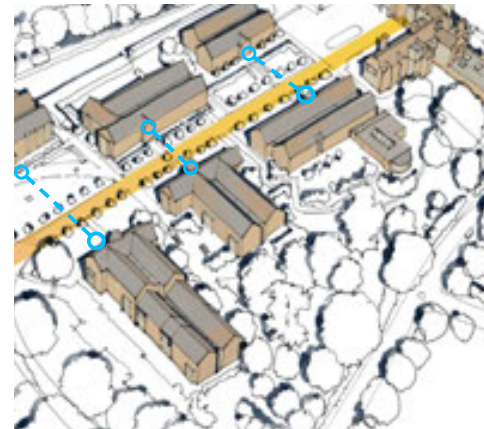
Entrances to the new buildings will be accessed from this space, providing opportunities for residents to interact in this space.

### Design Code: A01.3

Routes and links running east-west across the main axis are envisaged as being less formal in nature and connecting a series of less formal spaces set within the landscape around the edges of the Mansion site. These less formal routes are essential to providing wider connectivity around the site and linking the smaller spaces around the new buildings.



Contemporary Concept Addressing Main Axis



Indicative Typical Entrance



New East/West Connectivity

# Headley Court

## A.02. Roof Forms (Expression of Double Pitch Roof Typology)

### Context & Intent;

The typical building depth of two apartments sharing a common access lobby will be approximately 14-18m. The plan of this building form, if approached using a single pitch, or a roof form employing an area of flat roof, will be potentially at odds with the character of the adjacent listed buildings.

A form of roof using a pair of pitched roofs, with an appropriate roof plane gradient has been developed in discussion with MVDC through the pre-application process. This paired roof form is expressed at the gable ends, generating a form potentially complementary to the retained buildings on the site. This solution allows a lower ridge height than a single pitch with a similar gradient, and an architectural language appropriate to the existing architectural hierarchy on the site.

### Design Code: A02.1

The proportions of the principal residential buildings within the proposal will be made up of a pair of roof forms separated by a valley gutter. This will allow for a well proportioned gable, whilst allowing the two ridge forms to be of a height appropriate to their context.

### Design Code: A02.2

The gables of each roof form will be expressed in elevation, and supported by architectural details which have opportunity to make reference to the features visible on the main building.

### Design Code: A02.3

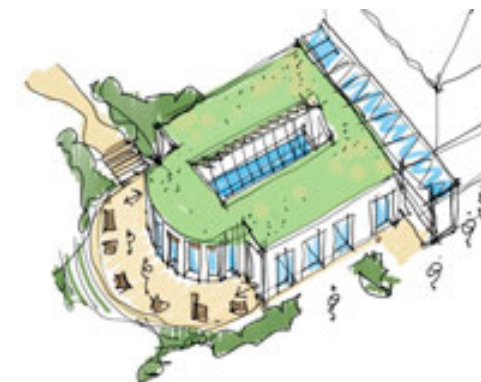
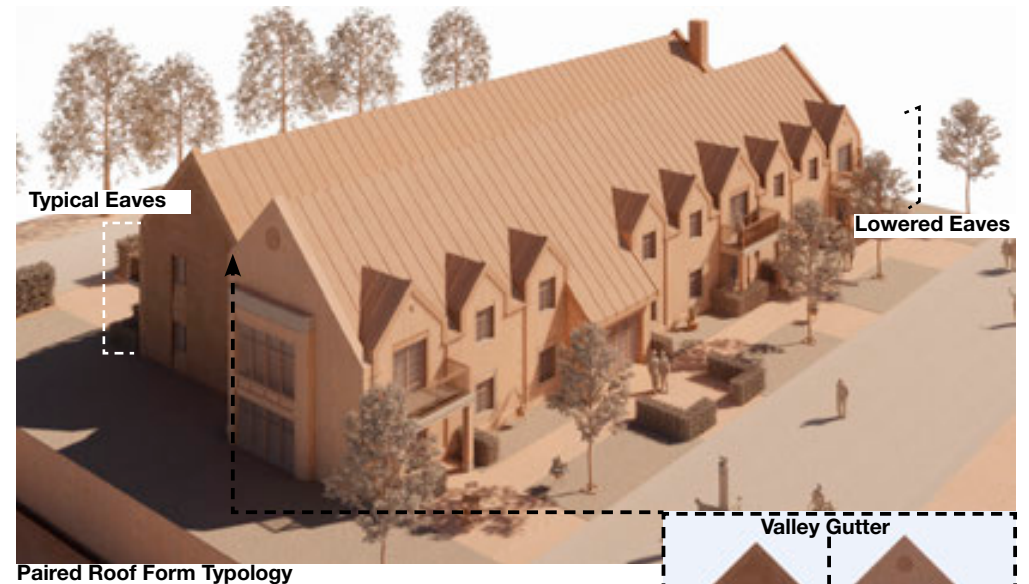
Dormers and gables may be appropriate devices to break up eaves lines along the main axis, on longer elevations. Eaves height levels should be appropriately used to reinforce an architectural hierarchy between the existing mansion and any new buildings nearby.

### Design Code: A02.4

The proposed garage lift should be treated as an architectural pavilion in the landscape, free standing, and considered in terms of the longer views from the southern approach.

### Design Code: A02.5

The spa building (W01) is proposed as a single-storey element emerging from the west facade of building W01/2. The roof is assumed to be generally level but with a significant roof lantern, to add visual interest to the building when viewed from surrounding spaces, and from the accommodation above. Architectural reference to the nearby stable building may be appropriate.



Spa Building W01.



Pavilion Style Garage Lift



# Headley Court

## A.03. Architectural Language (Role & Function)

### Context & Intent;

In developing a number of new buildings in the context of a listed building, it is important to ensure that in years to come, the architectural language of the new buildings allows them to be clearly read as a later intervention in the longer narrative of the site. The existing site already has a number of phases of development of different periods, encompassing both residential and most recently MoD uses.

Whilst the architectural language must remain distinguishable from the earlier periods of development, the new architecture must also recognize the architectural hierarchy into which it will fit.

As a large site, with multiple levels and character areas defined by existing landscape, a number of related architectural responses will add variety and interest to the wider building group, with local variation in material potentially adding interest to individual buildings and entrances.

### Design Code: A03.1

The architecture of the new buildings should be sufficiently contemporary in nature to ensure their legibility against the existing buildings to be retained on the site.

### Design Code: A03.2

The new buildings must respect the existing scale and proportion of the Listed buildings on the site, through the use of appropriate materials and detailing, and should seek to interpret and develop the existing architectural language. Consideration should be given to the hierarchy of architectural language established across the site.

### Design Code: A03.3

Roof form and eaves levels will be a significant feature within the new development, in setting the character of the new development.

### Design Code: A03.4

Any projections through the roof-lines of the new buildings, which may be visible from ground level, should be treated in a traditional manner, with attention paid to the silhouette created. Significant vents may take the form of traditional chimneys and be used to break up the silhouette of any longer roof ridge forms or silhouettes.

### Design Code: A03.5

A clear architectural language accompanied by good quality detailing is important to ensure that the development enhances key views and vistas, and creates a successful overall aesthetic.

### Design Code: A03.6

The new buildings must be generous in their approach to the use of detailing around entrances, to reinforce patterns of wayfinding around the site. The design of the buildings should seek appropriate local precedents for details to exterior architectural features such as exposed soffits, and structural support to 1st floor external balconies for example.



Contemporary Concept Addressing Main Axis



Building Scale and Proportions



Relationship with Listed House

# Headley Court

## A.04. Façades and Rhythms

### Context & Intent;

A pattern of development evident within the existing Listed Buildings on the site is the use of additive architectural forms to enrich the visual composition of parts of the building. These elements were apparent in the initial sketch studies of the listed mansion building.

These features have been taken from a number of sources, and it is felt were used to accentuate the accreted character of the existing building. The new development can make reference to this established pattern of development, in proposing new features within the new building façades, to add interest and rhythm to the longer façades.

### Design Code: A04.1

The new buildings should make reference to the elevation patterns within the existing buildings in their scale, proportion and materiality. Specific elements may be interpreted to enrich the new buildings, and to tie the site together visually and architecturally.

### Design Code: A04.2

Care must be used in any projecting balcony features to ensure they will enhance the architecture of the new development, and are of sufficient visual weight to be appropriate to their context. The balconies may be used to create opportunities for further resident interaction on the site, without compromise to privacy.

### Design Code: A04.3

Porches will provide cover and wayfinding for the entrances of the proposed apartment buildings. They should protect the entrance providing light and cover, and encourage resident interaction between separate apartment users. Integral seating, and integration with planting in the landscape would be beneficial to ensure a strong connection between building and landscape.

### Design Code: A04.4

The ventilation outlet requirements within the new buildings should be located and proportioned to reinforce the character of the wider site. Chimneys are a strong feature of the existing house, and contribute greatly to the character of the building in silhouette. Careful consideration must be given to the appearance and silhouette of any new roof features, and where possible the central valley gutters can provide suitable locations for required roof mounted equipment.



Projecting Private Amenity Space



Indicative Typical Entrance



Indicative Chimney Feature



# Headley Court

## A.05. Architectural Materiality

### Context & Intent;

A carefully considered palette of materials within the new development will contribute significantly to the wider architectural environment. In promoting traditional architectural forms, a range of contemporary or traditional materials can be used within the principal elevations and roof forms.

A consistency of approach is important, with window openings, door openings, roof detailing and eaves details contributing to the overall design.

The choice of materials is not dictated within the parameters set out in this outline application but should be developed with officers as part of a future reserved matters submission. Important aspects of the architectural language have been highlighted below within this part of the design code

### Design Code: A05.01

New openings within walls for windows and doors can be contemporary in nature but must respect the vertical proportions of openings used elsewhere on the listed mansion and stable block.

### Design Code: A05.2

Window size and proportion must be appropriate to the respect the character of the existing buildings, whilst still meeting the requirements of achieving current standards in U-values and levels of daylighting. For example multiple smaller windows may serve a larger habitable room and develop a more appropriate faced than a single oversize window of inappropriate proportions.

### Design Code: A05.3

The materials chosen for the new buildings will be fundamental to their architectural success. A simple and complimentary palette of materials, drawn from the context, should be proposed. The predominant material for all buildings should be brick, in colour, mix and texture to be appropriate and complimentary to the existing Mansion and stable buildings on the site. Reference should also be made to treatment and detailing of boundary structures including gates, and gateposts, where flint panels may be used to provide variety and interest.

Secondary materials may compliment the brick 'bodies' of the new buildings, and be used to draw out the particular sub characters of certain parts of the site. Appropriate secondary materials may include: contrasting bricks (varied in bond and texture), natural stone, lead work, render, and painted/stained timber.

### Design Code: A05.4

The development should provide clear articulation of openings through either brick reveals, or projecting window surrounds. Where brickwork reveals are exposed, they should have a depth appropriate to the language and hierarchy of the building on which they are proposed.



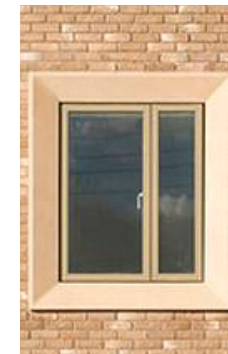
Traditional Brick Character



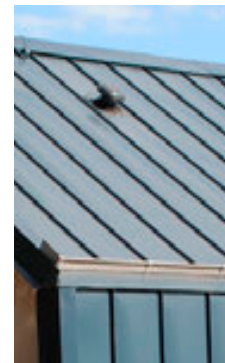
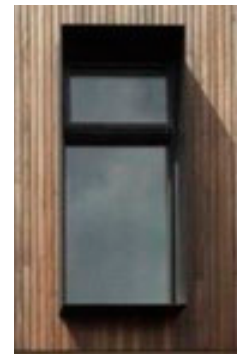
Contemporary Brick



Traditional Window Character



Contemporary Window Character



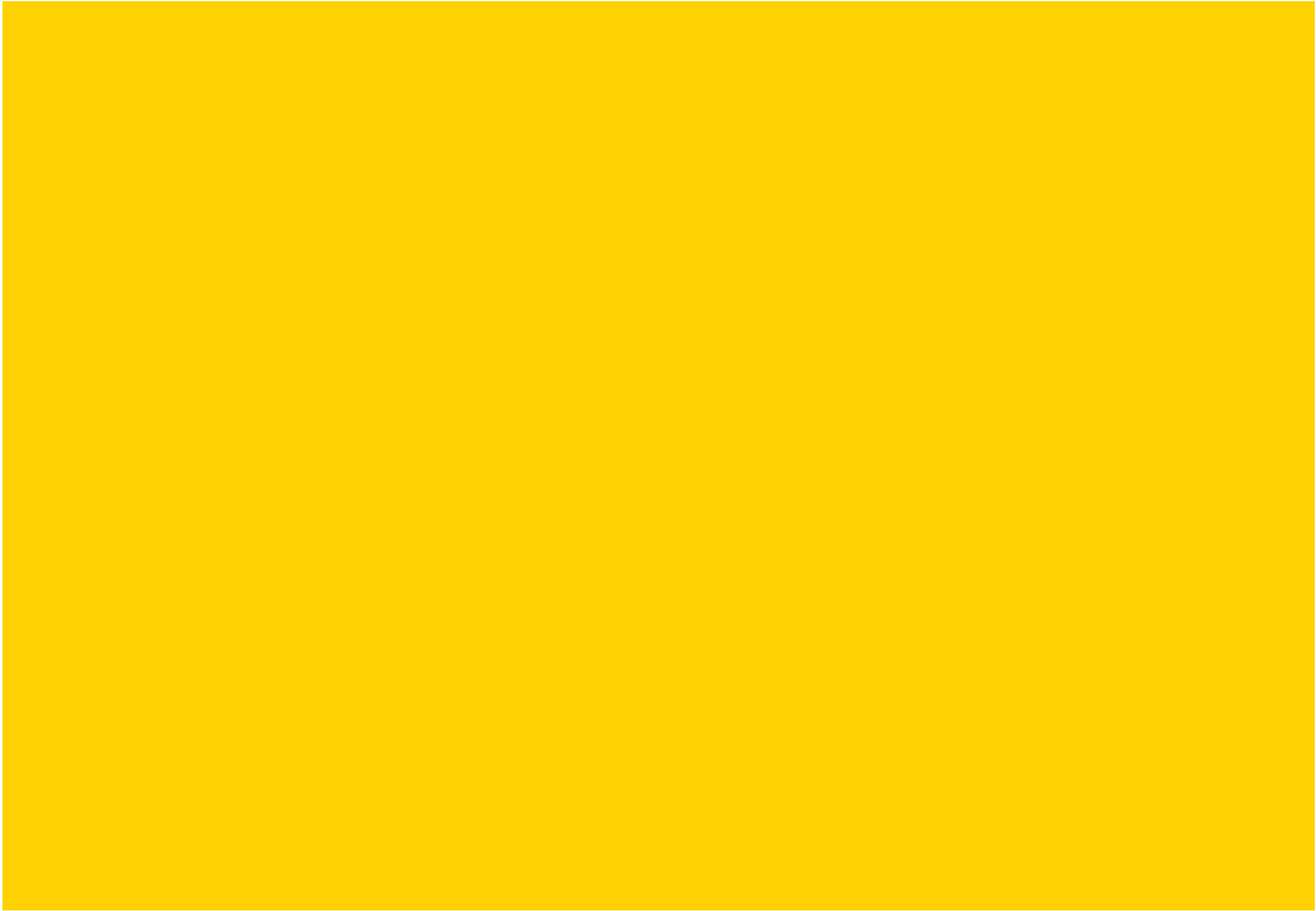
Typical Roof Character



Flint Element



Balcony with metal/timber posts





M. Masterplan Principles  
S. - Siting, Scale & Shape  
A. - Architecture  
L. - Landscape

# Headley Court

L.00. Landscape Principles;

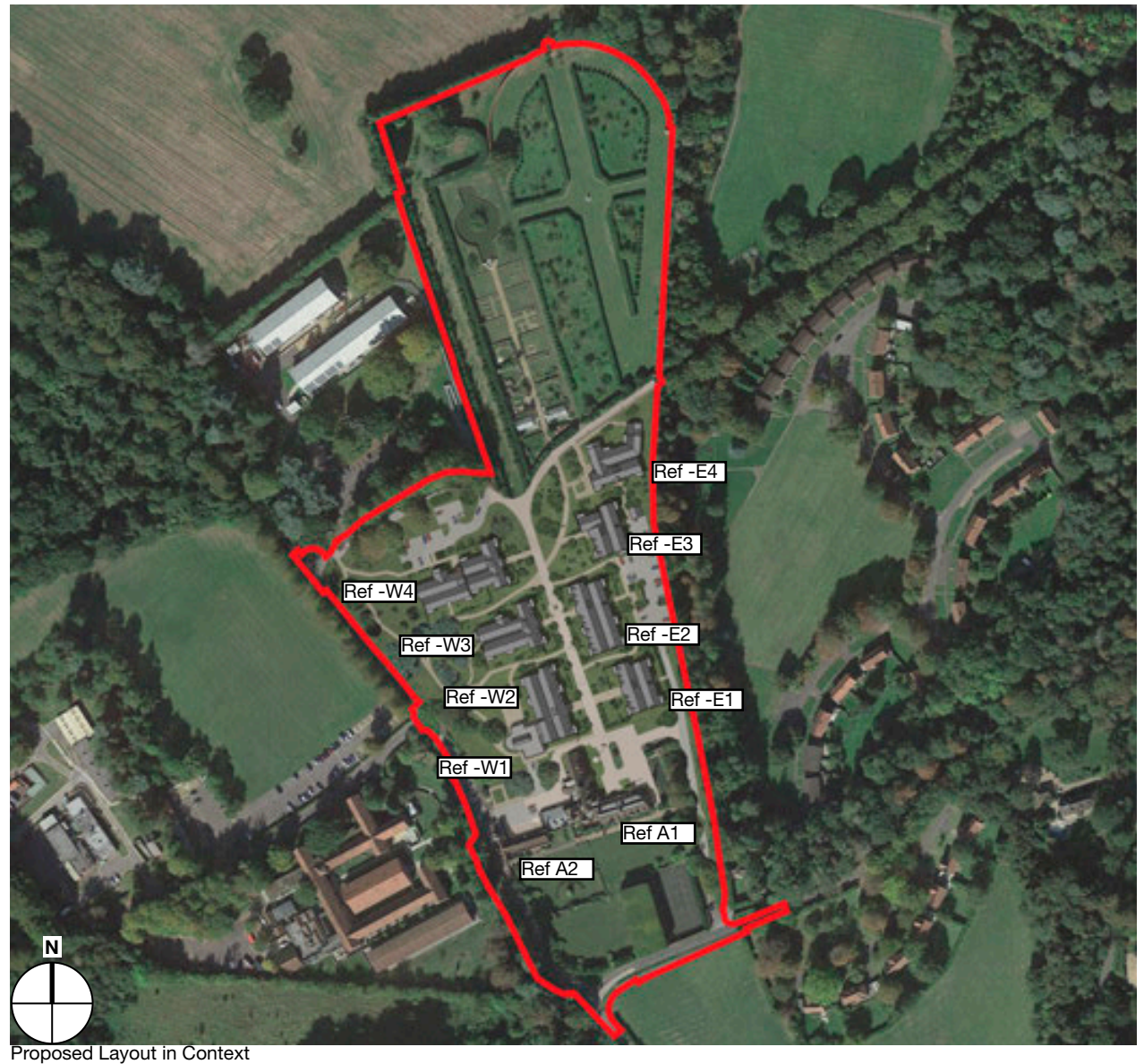
L.01 Character Areas & Key Spaces (Main Axis/ Wooded Parkland/ Eastern Boundary)

L.02 Plant Selection

L. 03. Hard Landscape and Boundary Treatments

L. 04. Treatment of Parking Areas

L. 05. Treatment of Heritage Items in Landscape



# Headley Court

## L01. Character Areas & Key Spaces (Main Axis/ Wooded Parkland/ Eastern Edge/ Rose Garden)

### Context & Intent;

The landscape objectives identified below should underpin a future detailed landscape proposal:

- To ensure the proposed landscaping is carefully designed to contribute the wider architectural and landscape setting, and to respect the specifically referenced listed features on the site.
- To provide a clear change in character between the formal design to the spaces along the main axis, and to the informal landscapes adjacent to the site boundaries.
- To enable positive links from the central axis to the discovered spaces within the wider landscape.

### Design Code: L01.1 Main Axis

The main axis, from the Grade II Mansion House to the northern gardens currently possess a strong formal character, with areas of topiary planting and yew hedgerow. New planting along this route will reflect the existing geometric forms. Some existing topiary and yew hedgerow within the central area will be removed to improve openness, with the existing yew hedgerow extending from the main axis to the northern gardens to be retained. To mitigate against the loss of the topiary and yew hedgerow, formal planting will be proposed along the main axis, which will include evergreen hedgerow and shrub planting. Structural tree planting will also be proposed along the main axis, further defining the route. All planting along the main axis will be in a geometric form to replicate existing planting.

Additional axis points leading east to west will provide smaller routes off the main axis. These

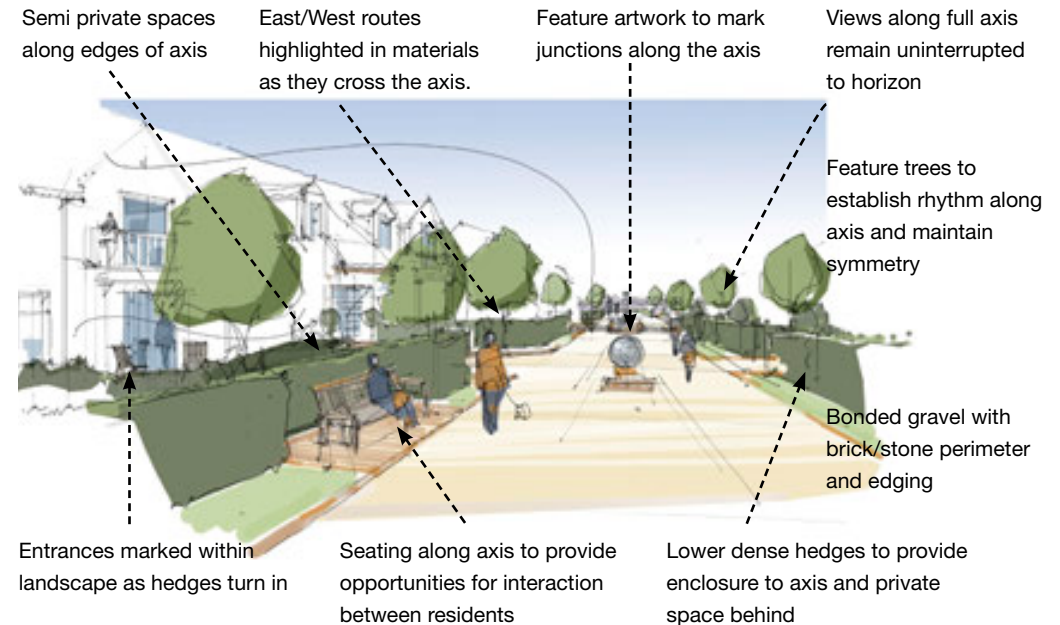
routes will improve connectivity through the site and provide a sense of discovery to smaller gardens for the residents.

Small gardens will be proposed for residents, which will be bound by evergreen hedgerow planting, helping to provide a clear delineation between the private and public spaces. The gardens will be designed to reflect the formal character of the space, with species chosen for their compact form and structure. These will include a contemporary rose garden.

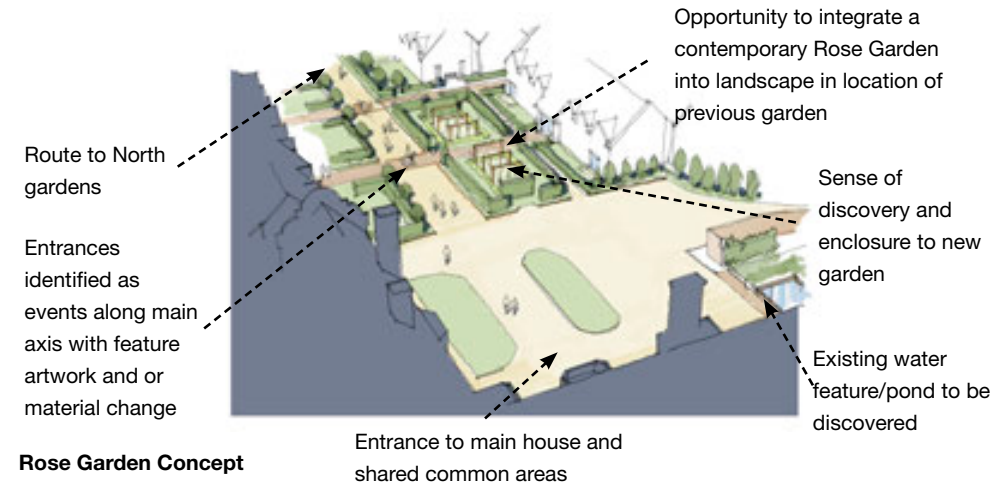
### Design Code: L01.2 - Rose Garden

There is opportunity to locate a contemporary 'Rose Garden' on the site of the previous, north of the Mansion, and to the East of the main axis. There is also opportunity to consider the re-representation of either an existing object from the garden or to design a new public art feature in this location. Enclosure will be created with evergreen hedgerows delineating the boundary of this garden. The hedgerow planting may also link with the proposed hedgerow along the main axis, providing a continuation of species along the full extent of this route.

The rose garden will provide additional seating opportunities for residents. Around the seating will be the newly introduced planting, with a number of rose species of heritage varieties to reflect the original design and species mix. Where rose planting is being proposed, soil will need to be replaced so there are sufficient nutrients for the roses to thrive. The design will be formal in character to reflect the main axis character. When sat within the rose garden, residents will be secluded by proposed shrub and rose planting to allow for privacy.



### Principal Axis Concept



### Rose Garden Concept



# Headley Court

## L.01. Character Areas & Key Spaces (Main Axis/ Wooded Parkland/ Eastern Edge/ Rose Garden)

### Design Code: L01.3 Wooded Parkland

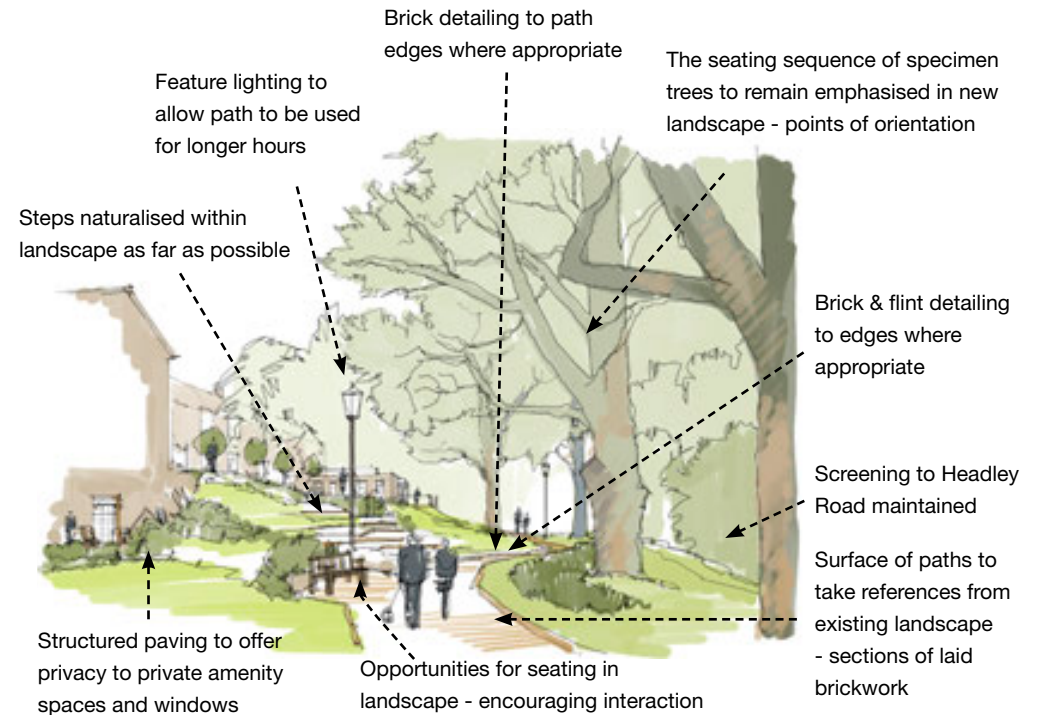
Existing vegetation towards the western boundary is characterised by woodland. The woodland allows for glimpsed views through the feature trees and beneath the existing canopies, with prevalent species including horse chestnut, beech, oak and wild cherry. This area is to be retained and will be more informal, providing a clear character change between the central built spaces and the outer landscaped areas. The woodland is within a parkland setting and will include benches located just off proposed footpaths, at strategic locations, for residents to use.

Any additional tree planting within the woodland will be of local provenance to reflect the existing planting palette. The woodland will also be enhanced with increased floristic diversity and planting that promotes a diverse ground flora under-storey. The additional planting will help to increase the biodiversity of the site.

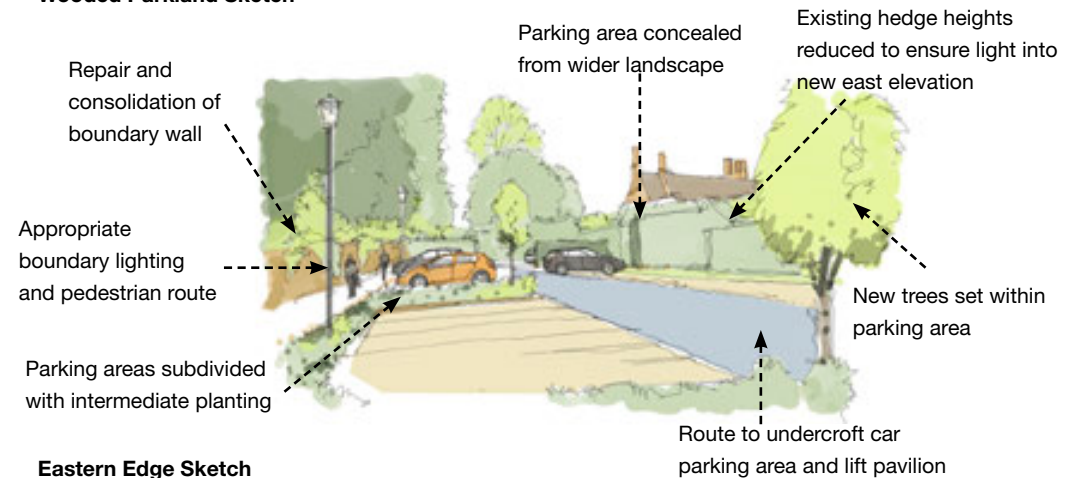
Routes through these areas will link into the proposed east to west axis points, providing connectivity through the site. Hard landscape materials will reflect those found within the existing site and wider local area and link in with the informal character of the site.

### Design Code: L01.4 - Eastern Edge

In areas of soft landscaping, a more informal approach will be taken within the landscape design along the eastern boundary, which will reflect the proposed building façades. Existing vegetation beyond the site boundary provides a dense visual barrier, reducing the need to provide additional vegetation at this location. Where space allows, pockets of ornamental planting will be proposed, including grasses, to emphasise the informal character adjacent to the site boundaries. Hard surfacing along this boundary comprises of parking and an access road from Lee Green Lane. This is to be softened with tree and shrub planting where there are breaks in the hard landscape.



**Wooded Parkland Sketch**



**Eastern Edge Sketch**

# Headley Court

## L.02. Plant Selection

### Context & Intent;

The arrangement of the architectural form and the historic pattern of the existing gardens have facilitated a variety of spaces, including the creation of both publicly accessible and private spaces. This arrangement allows for a clear contrast in character. Landscaping towards the centre of the site will be formal in design and planting species. Towards the extents of the site the landscaping changes to have a more informal character.

Planting should be specifically selected to provide year-round interest, seasonal displays of colour and a variety of textures. The landscape design should also improve the biodiversity of the site by introducing a number of wildlife friendly species throughout the scheme and providing habitat connectivity.

### Design Code: L02.1 Tree Selection

The proposed tree species palette has been selected to take into account the site conditions, amount of sun, exposure, proximity to buildings, type of soil and aspect. Proposed tree planting will comprise of structural species within formal central areas and species of local provenance within the woodland.

All street trees will be suitable for areas of hard landscape. Where located close to buildings, roads or underground services, suitable root barrier protection will be utilised.

Structural tree planting along the main axis should be planted in an avenue, with a continuation of one single species along this route.

Potential avenue options, to include either smaller dense rounded crown or taller columnar species. Species options include maple, cherry, hornbeam or oak.

Native tree planting options include hawthorn, oak & field maple.

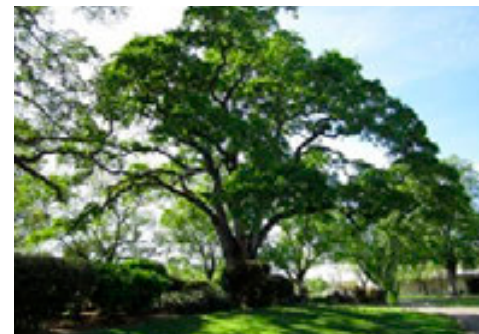
### Design Code: L02.2 Shrub Selection

Shrub and hedgerow planting will help to enhance the character of the site and to define gardens. To the centre of the site, the proposed landscaping will reflect this formal setting through structural shrub planting. Planting will consist of species with bushy compact forms, mixed with a number of taller species to provide variety within the scheme.

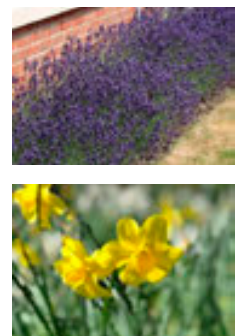
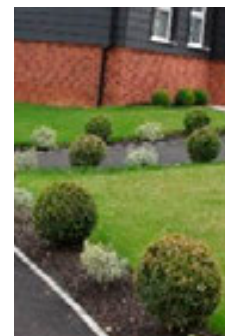
Towards the edge of the development a more informal planting scheme will be incorporated. Species will consist of a combination of evergreen and deciduous planting, including ornamental grasses, herbaceous perennials and shrubs and having a looser habit. The scheme will be designed to introduce swathes of colour, with species which are less structured. Bulb planting will also be introduced within the informal areas.



Structural Tree Planting Precedents



Native Tree Types



Plant & Shrub Precedents



# Headley Court

## L.03. Hard Landscape and Boundary Treatments

### Design Code: L03.1

A palette of different hard landscaping materials will reflect the character of the site and provide a high-quality aesthetic to the site. Materials chosen will draw on inspiration from the surrounding context, with materials on site to provide a visual link between the site and the surrounding landscape. The hard landscape will include the use of hoggin, gravel or paved footpaths, bitmac access roads and block paved parking areas.

Access roads will be laid with a bitmac surfacing, providing a durable surface which visually links with the surrounding context. Footpaths throughout site will be well used and will require a robust material, ensuring accessibility year round.

Within the central formal spaces, flag paving may provide a formal feel to foot paths, with a high quality aesthetic. This should be natural in colour to blend in with the existing surroundings. Footpaths within the woodland area and towards the edges of the development would benefit from a hoggin or gravel finish, which would suit the more informal character of the spaces.

### Design Code: L03.2 Boundary Treatment

The site is bound to much of the southern and western extents by brick and flint walls. A dense barrier of mature vegetation also lies along these boundaries, reducing views into the site. Additional boundary treatments will be in keeping with the existing site. Treatments will include native hedgerow planting and a brick and flint walls.

Boundary treatments surrounding the small private gardens will consist of evergreen hedgerow planting, similar to those proposed along the main axis. This area is intended to be formal but will retain the natural feel with soft landscaping.



Informal Path Character



Boundary Treatments



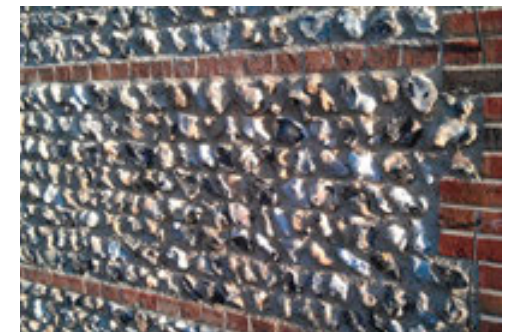
Boundary Treatments to Gardens



Character of Gardens & Informal Seating



Native Boundary Treatments to Edge of Site



Existing Brick and Flint Walls



# Headley Court

## L.04.Treatment of Parking Areas

### Design Code: L04.1

Car parking throughout the site will be of a high-quality standard and integrate well into the scheme. Surfacing will consist of block paving in either a charcoal or grey colour so it is not dissimilar from the access roads. Demarcation of individual parking bays will generally be achieved with self-coloured inserts to the parking surface - painted or otherwise applied markings shall be avoided.

### Design Code: L04.2

Lighting specified throughout the site will be harmonious with the general architectural style of the proposed and existing buildings. Lighting will also follow the proposed character areas, with a more formal approach towards the centre of the site. Well-lit spaces are crucial in reducing fear of crime and making places more liveable. A detailed, sensitively designed lighting strategy will be required for the development to provide consistent levels of illumination and avoid deep shadows. Well designed lighting will also increase the opportunity for surveillance at night.

- Lighting will be designed sensitively to respect the ecological aspects of the site. The principles of the lighting strategy in regards to ecology are as follows:
- There will be no external lighting placed in the vicinity of mitigation/ enhancements for fauna e.g.. bat/ bird/ hazel dormouse boxes.
- There will be sheltered dark areas that will maintain opportunities for nocturnal animals, particularly the retained gardens including Pond 1 to the north, retained tree line and Pond 2 to the south-east, retained garden to the south, and retained woodland and

grassland to the north-west.

- Low level bollard lighting with downward directional luminaires only.
- Using narrow spectrum lights with no UV content such as warm white LED.
- Blue and white lights are to be avoided.
- Only luminaires with an upward light ratio of 0% and with good optical control will be used.
- External security lighting is to be set on motion-sensors and short (1min) timers.
- Directional lighting with one-way optic; and
- Low wattage at 12W.

### Design Code: L04.3

Parking areas will receive a visual barrier through a combination of existing vegetation, proposed tree planting and proposed hedgerow planting. There are two areas dedicated to parking. The first is located along the eastern boundary, with access from Lee Green Lane. The existing vegetation along the boundary and beyond forms an effective visual barrier. There will also be proposed planting where space allows between parking bays and to the west of the parking area, providing a visual barrier between the bays and accommodation. This planting will be tolerant to hard landscape and provide a break in the hard landscaping, adding height, colour and generally softening the appearance of the built form.

The second area of parking is located within the western half of the scheme, north of the proposed accommodation buildings. This area will be accessed via the northern entrance off Headley Road. A visual barrier will be provided to the Jubilee Complex to the north and will include a combination of hedgerow and tree planting along the extents of the parking bays. Where there are

breaks in the planting, footpaths are proposed that connect the parking area with the proposed building. Planting within this area will link to both formal and informal character areas with evergreen hedgerow continuing from the main axis and blossoming tree species providing a transition between the character areas.



Planting bounding edge of parking



Existing Site Materiality



Landscaped Parking Courts



Character of Parking Area

# Headley Court

## L.05. Treatment of Heritage Items in Landscape

### Design Code: L05.1

Within the site are a number of Grade II Listed Features, which provide heritage importance and will be treated as such within the proposed landscaping scheme. Listed items include:

- Sundial Gnomon on the south-western lawn (Grade II).
- Retaining walls to north terraced garden (Grade II).
- Former swimming pool and fountain in the north garden (Grade II).
- South Garden retaining walls (Grade II).
- Garden walls, Bothy and Bridge (Grade II).
- Pillar Sundial (Grade II).
- Sundial in the northern gardens (Grade II).
- Winged Lion Seat (Grade II).
- Former Lily Pond (Grade II); and
- Headley Court and Former Stables (Grade II).
- There are also other existing features that are not listed but do hold heritage and landscape stature. These include the beech avenue within the southern garden and yew hedgerow along the main axis leading to the northern gardens.
- The proposed landscape will help to provide a more comprehensive design composition through an integration of new planting into a historic setting.
- Further to additional academic work, there may be opportunity to relocate listed features to a more visible location. In moving the listed features, there is potential to enhance key views and vistas within new locations and to utilise these heritage assets to provide focus.
- Elements within the centre of the site, including the Winged Lion Seat and Sundial, will be enhanced with formal landscaping, including

evergreen hedgerows and dense formed evergreen shrub planting.



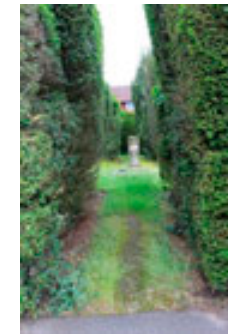
Existing Formal Lilly Pond



Existing Sundial in Northern Garden



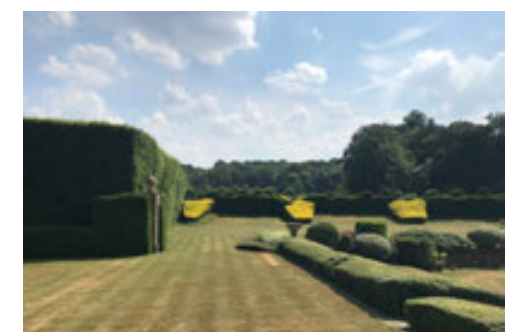
Lion Seat



Existing View within Tear-drop Fruit Garden



Existing Garden Bothy & Walls



Existing Northern Garden

# Headley Court

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